



MEETING AGENDA
The Town of Ridgeland
PLANNING COMMISSION

Monday, May 11, 2026, 5:30 P.M.

Town Hall, Council Chambers, 1 Town Hall, Ridgeland, SC 29936

STATEMENT OF MEDIA NOTIFICATION: “In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place, and agenda of this meeting.”

I. Call to Order: Pledge of Allegiance and Invocation by Chairman Frankie Denmark

II. Roll Call

III. Approval of Minutes: April 13, 2026

IV. Election of Officers

V. Old Business:

1. None

VI. New Business:

Projects/Architectural Review:

1. Concept plan: Fox Chase development located off Grays Highway, Forino Homes
2. Concept plan: Weathersbee Phase 4 subdivision located off Grays Highway, Mungo Homes
3. Architectural review: Cottage Walk subdivision located at Beach Street and Getsinger Street, McGuinn Homes

Planning Commissions role: Advisory to staff

Action needed: Recommendation to staff

Policy Item:

1. ZTX-26-01: A text amendment to the Town of Ridgeland Zoning Ordinance addressing architectural standards.
2. ZTX-26-02: A text to the Town of Ridgeland Zoning Ordinance addressing window signs/curtains standards.

Planning Commissions role: Advisory to Council.

Action needed: Recommendation to Council

VII. Staff Comments:

1. Discussion of annexation request and special districts

VIII. Commissioner’s Comments:

IX. Adjournment



MEETING MINUTES
The Town of Ridgeland
PLANNING COMMISSION

Monday, April 13, 2026, 5:30 P.M.

Town Hall, Council Chambers, 1 Town Square, Ridgeland, SC 29936

STATEMENT OF MEDIA NOTIFICATION: "In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place, and agenda of this meeting."

Planning Commissioners in attendance:

Chairman Denmark, Commissioner Rodina, Commissioner Mohr, Commissioner May and Commissioner Smith

Town of Ridgeland Staff:

Aaron Rucker and Danielle Smoak

I. Call to Order: Pledge of Allegiance and Invocation by Chairman Frankie Denmark

Chairman Denmark called the meeting to order at 5:30 pm.

II. Roll Call

Roll call was taken and all members were present. Introductions were made for Commissioner Leon Smith.

III. Approval of Minutes: January 12, 2026

Motion to approve January 12, 2026, meeting minutes were made by Commissioner Rodina and seconded by Commissioner May. Motion passed unanimously.

IV. Election of Officers

1. Chair Election – Chairman Frankie Denmark was nominated by Commissioner Rodina and seconded by Commissioner May. Vote was unanimous.
2. Election of Vice-Chair – Commissioner Ralph Rodina was nominated by Chairman Denmark and seconded by Commissioner May. Vote was unanimous.
3. Appointment of Secretary – revisit next month.

V. Old Business: None

VI. Public Comment:

Jeff Foreman with Hardeeville Planning Commission and Randy Waite with Jasper County Planning Commissioner wanted to reaffirm joint planning meetings are occurring and seeking members from Town of Ridgeland Planning Commission. These meetings will just be a general conversation of regional nature that staff can suggest between the municipalities and county. Chairman Denmark volunteered to represent Ridgeland.

VII. New Business:

Projects:

1. Panchal Commercial located at 10312 South Jacob Smart Blvd [063-25-05-014, 037, & 039]
Engineer of record Nathan Sturre, P.E.

Nathan Sturre, Sturre Engineering, explained that Mr. Panchal is looking to build a commercial site. At this time, it will be a 1-story building for retail and office use. The proposal was generally supported with Commissioners suggesting oyster shell tabby accents be used if stucco was chosen.

Discussion Item:

1. Text amendments to the Town of Ridgeland Zoning Ordinance addressing architectural standards, window signs/curtains, and data centers.

Aaron Rucker, Director of Planning and Community Development, explained that select text amendments to the Town of Ridgeland Zoning Ordinance addressing 5.13 Architectural Standards are needed. These items have gone to the Board of Zoning Appeals repeatedly, and variances have typically been granted so frequently that having it in the ordinance seemed unnecessary. The discussion included vinyl siding, fences, wall colors, awnings, gutters, roofs, windows, doors, garages, and shutters. Additionally, review of sign standards for T4 and T5 zones were discussed out of concern too much window signage and window coverings are mucking up commercial areas, especially the downtown. Discussion entailed sign coverage area of windows, transparency, handwritten signs, poster board signs, neon, and reducing opacity to enhance aesthetic and the overall commercial experience. Although on the agenda, policy to manage data centers was not discussed at this meeting.

Following discussion, text changes and further discussion anticipated at the May meeting.

VIII. Staff Comments:

From the budget workshop, staff shared Town Council's short and long-term goals of achieving more beautification, engagement from downtown businesses, expanding recreation and youth involvement, purchasing town property, historic preservation, engagement with public, and bringing in boutique hotels. Town staff are also seeking a grant for rusty water line replacement.

IX. Commissioner's Comments:

What would make you stop in Ridgeland if you were traveling I-95? Commissioner Mohr mentioned the Tesla charging station as a point of contact with travelers to entice them further into the community to explore the area in greater detail.

X. Adjournment

Motion to adjourn was made by Commissioner Rodina and seconded by Commissioner Smith. Vote was unanimous and meeting was adjourned at 7:18pm.



May 4, 2026

Project: Fox Chase Subdivision
Modification to Single Family
Town of Ridgeland-Planning Commission

PROJECT NARRATIVE

The Fox Chase Subdivision is proposed as a revision to the previously reviewed development concept. The primary change associated with this request is a modification to the residential product type, transitioning from the originally proposed townhome development to a combination of single-family detached homes with a limited number of townhomes.

Under the original development plan, the project consisted of 183 townhome units. The revised plan proposes a total of 142 dwelling units, consisting of 24 townhomes and 118 single-family detached homes. This revision results in a net reduction of 41 dwelling units, significantly lowering overall residential density and reducing development intensity across the site.

In addition to the reduction in density, the revised development plan achieves a reduction in impervious coverage. The shift away from a predominately attached townhome product allows for smaller building groupings, fewer shared drive aisles, and reduced large paved areas typically associated with higher-density residential development. The inclusion of single-family detached lots increases pervious surface area and enhances opportunities for landscaping, open space, and improved stormwater performance.

The revised plan also introduces a new centralized amenity area intended to enhance neighborhood livability and provide a shared recreational space for residents. This amenity area is designed to complement the lower-density development pattern while remaining consistent with the overall site layout.

Parking for the development will be managed so that each residential unit is provided with two (2) dedicated off-street parking spaces and one (1) designated guest parking space per unit. Guest parking will be distributed throughout the development in designated areas to support visitor access and maintain internal circulation.

Parking associated with the amenity area will be provided separately from residential parking and will not rely on on-street or unit-designated spaces, ensuring no conflicts between amenity users and residential parking needs.

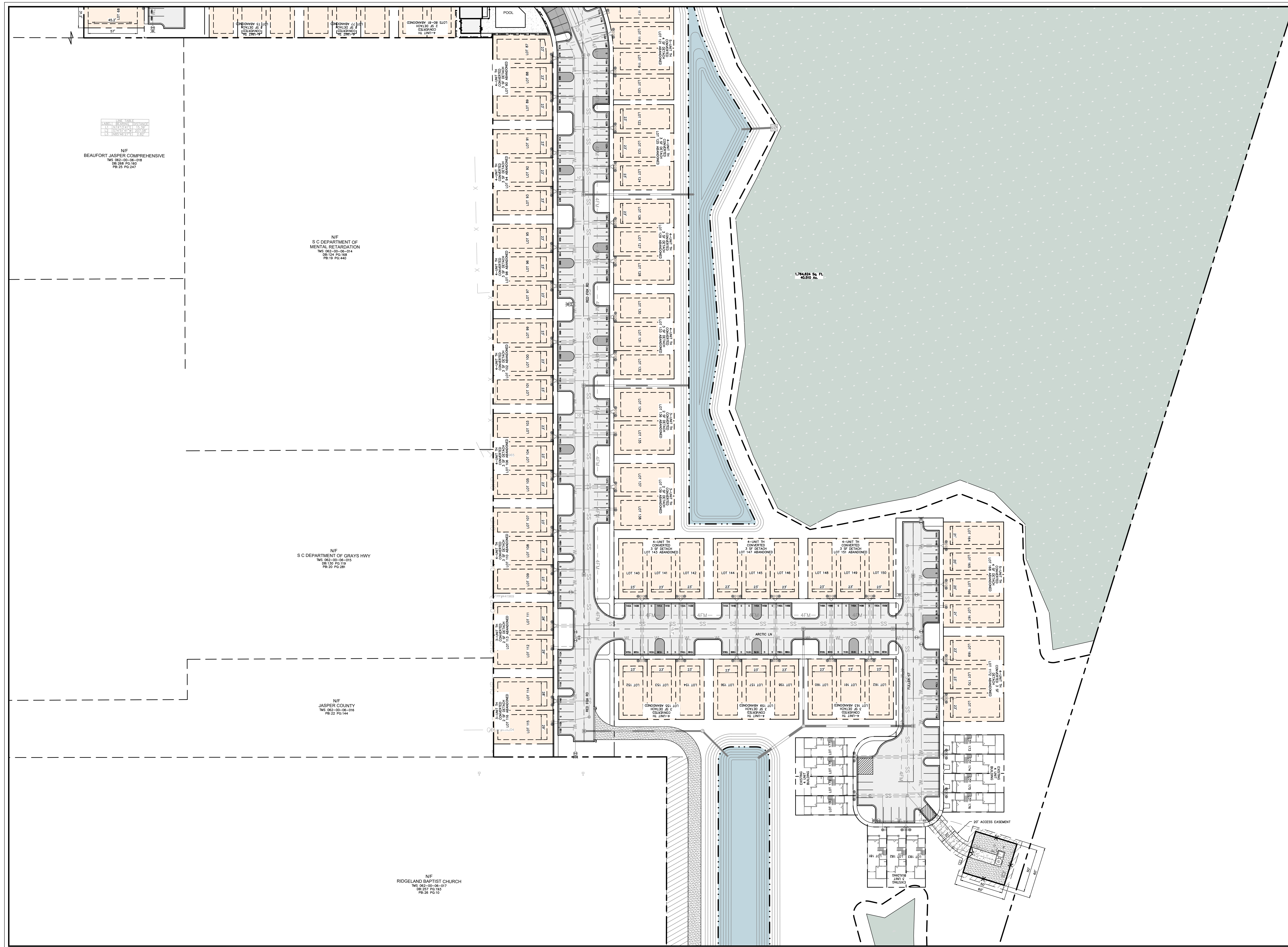
Importantly, the proposed revision does not alter the previously reviewed infrastructure framework. There are no changes proposed to the internal or external road network, stormwater infrastructure, or water and sanitary sewer systems. The existing infrastructure design remains contains adequate to support the revised development and continues to comply with Town engineering standards.



The revised Fox Chase Subdivision concept has been developed through proactive coordination with key stakeholders and Town representatives. The project team has coordinated with Dominion Energy to review utility availability and to ensure the revised layout accommodates existing and planned electrical infrastructure.

Additionally, the Applicant participated in a Pre-Application Conference with the Town of Ridgeland and 4Waters Engineering, the Town's engineering consultant. Input received during this meeting was incorporated into the revised site design, including considerations related to density reduction, impervious coverage, amenity placement, parking management, utility coordination, and overall compliance with Town requirements.

Overall, the revised Fox Chase Subdivision represents a lower-impact, well-coordinated development approach that reduces density and impervious coverage, introduces thoughtfully planned amenities, and maintains previously approved infrastructure. The Applicant respectfully submits this revised plan for the Town's consideration and looks forward to continued coordination throughout the review process.



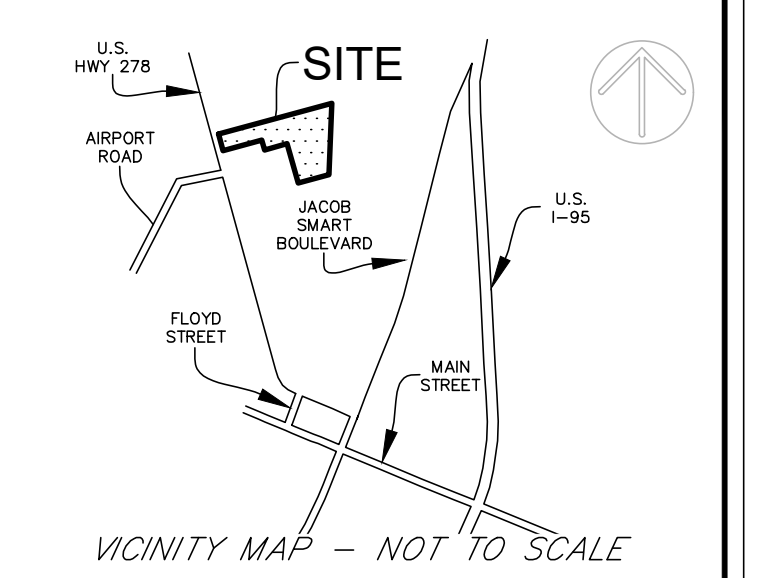
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PB 25 PG 247

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MENTAL RETARDATION
IMS 062-00-06-014
DB 174 PG 166
PB 19 PG 440

NIF
S C DEPARTMENT OF GRAYS HWY
IMS 062-00-06-015
DB 200 PG 118
PB 20 PG 281

NIF
JASPER COUNTY
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RIDGELAND BAPTIST CHURCH
IMS 062-00-06-017
DB 22 PG 183
PB 26 PG 10



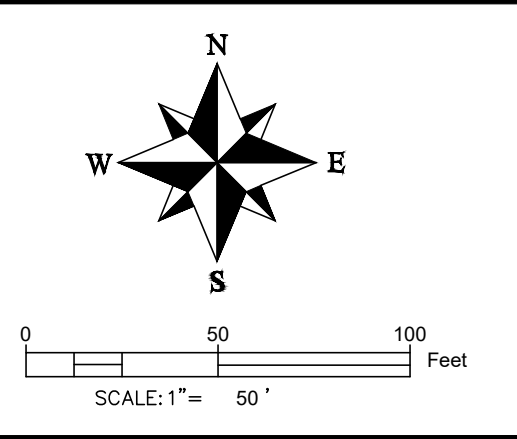
VICINITY MAP
Not To Scale

**CONVERSION EXHIBIT
PARKING & LOTS**

FOX CHASE SUBDIVISION
RIDGELAND, SC

PREPARED FOR:
FORINO, L.P.

DOCUMENT IS CONCEPTUAL AND SUBJECT TO CHANGE.
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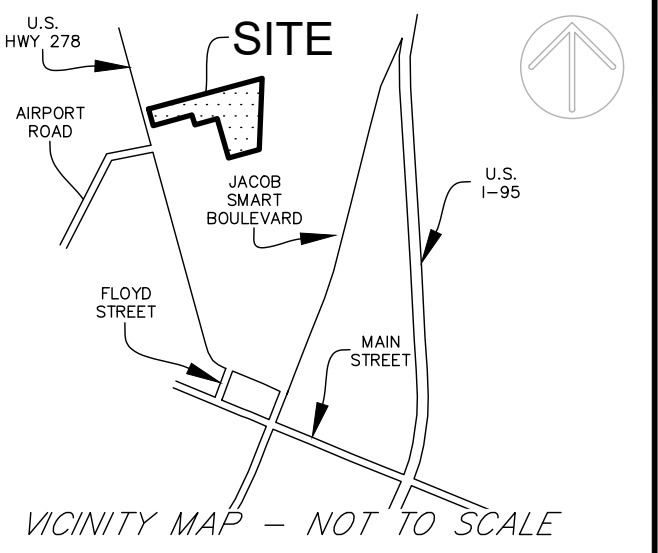
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DATE:	04/14/26
PREPARED BY:	DBS
SHEET NUMBER:	EXHIBIT



POTENTIAL 1-STORY ELEVATIONS



POTENTIAL 2-STORY ELEVATIONS



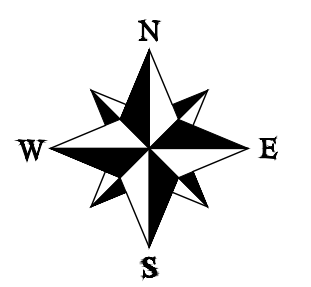
VICINITY MAP
Not To Scale

**POTENTIAL
SINGLE-FAMILY
DETACHED
OPTIONS**

FOX CHASE SUBDIVISION
RIDGELAND, SC

PREPARED FOR:
FORINO, L.P.

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0 100 200
Feet
SCALE: 1" = 100'

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PROJECT #:	200219J
DATE:	04/14/26
PREPARED BY:	DBS
SHEET NUMBER:	EXHIBIT

03-19-2026

COTTAGE PARK

LOT # 0

THE PINE 'A'

4 BEDROOM / 2.5 BATH
1-CAR GARAGE - REAR LOAD

32'-0" WIDE X 55'-0" DEEP

GARAGE RIGHT

SQUARE FOOTAGE TOTALS

MAIN LEVEL HEATED.....	940SF
UPPER LEVEL HEATED	887 SF
<u>TOTAL HEATED.....</u>	<u>1827 SF</u>

FRONT PORCH.....	80 SF
GARAGE.....	240 SF
<u>TOTAL UNHEATED.....</u>	<u>320 SF</u>

<u>TOTAL FOOTPRINT.....</u>	<u>1260 SF</u>
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03/30/2026



FOR STRUCTURE ONLY

SEAL APPLIES ONLY TO SHEETS:

- S0.0
- S1.0
- S2.0
- S3.0
- SD1.0
- SD2.0
- SD3.0

Plans to be Built according to the 2024 edition of the International Residential Building Code Standard for Single Family Residential Dwellings

LEGEND

- ▲ CALC POINT - CORNER NOT SET
- BSL BUILDING SETBACK LINE
- AC AIR CONDITIONING UNIT
- CONCRETE
- GRAVEL

NOTES

1. THIS PARCEL APPEARS TO LIE IN FLOOD ZONE A (NO BFE), COMMUNITY 450114, MAP NUMBER 45053C0305D.
2. BUILDING SETBACKS & EASEMENT ARE PER REFERENCE #1, AND MUST BE VERIFIED PRIOR TO DESIGN & CONSTRUCTION.

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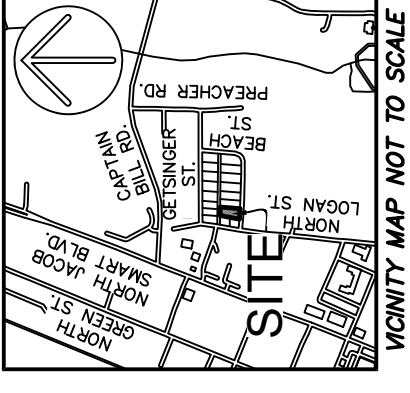
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**CONC. FLATWORK
= 812 SQ. FT.**

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VICINITY MAP NOT TO SCALE

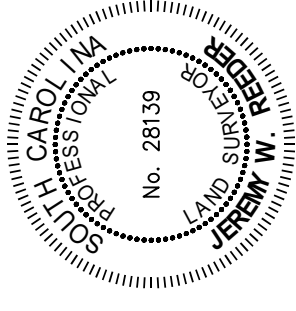
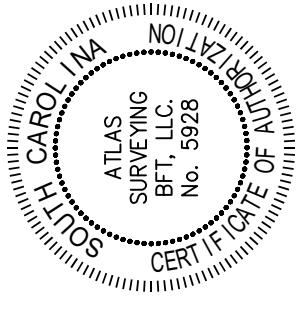
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McGUINN HOMES
A PLOT PLAN OF

LOT O
#73 BEACH ST.
COTTAGE PARK

TAX PARCEL No.
063-26-35-035

RIDGELAND
JASPER COUNTY, SOUTH CAROLINA

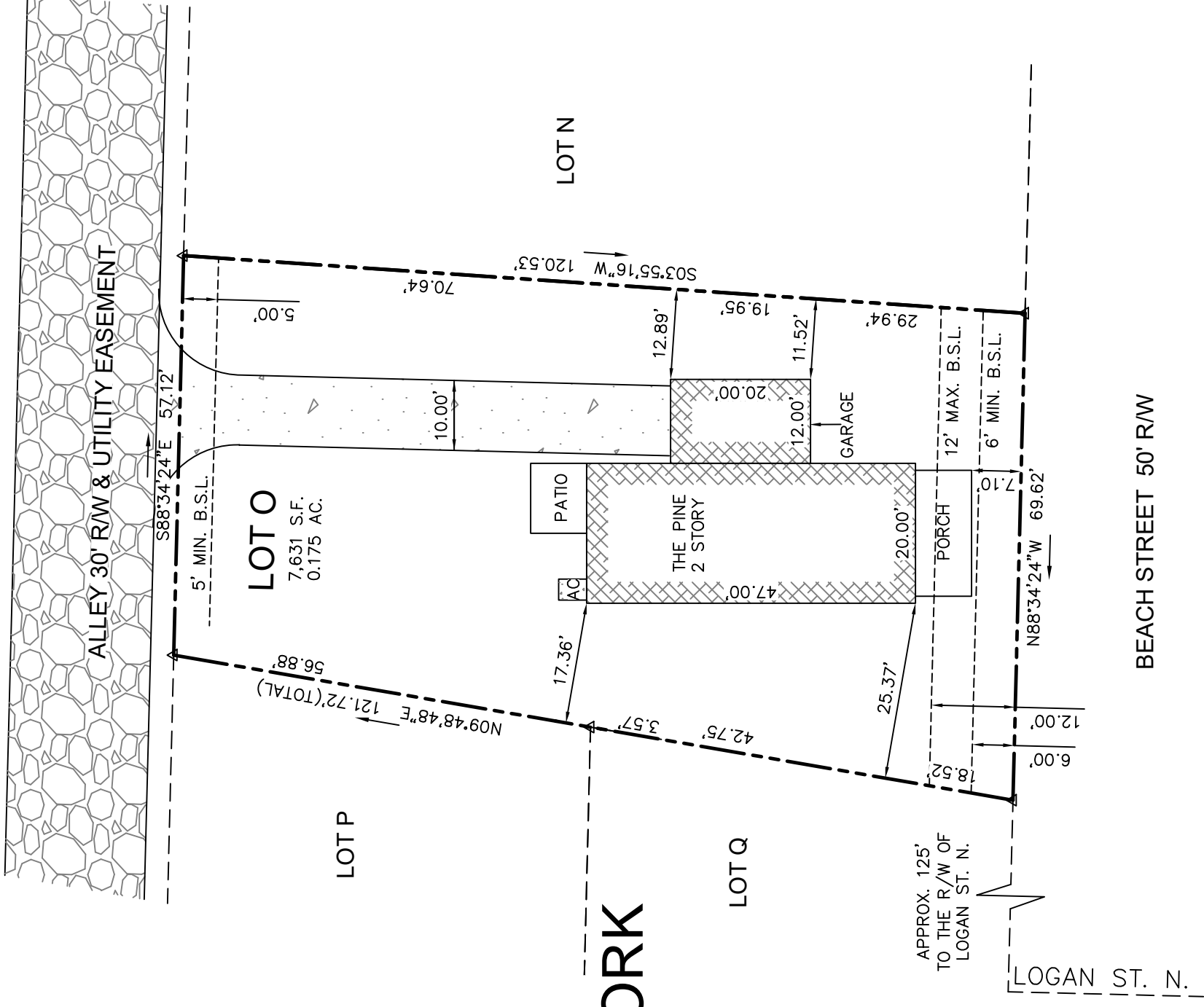
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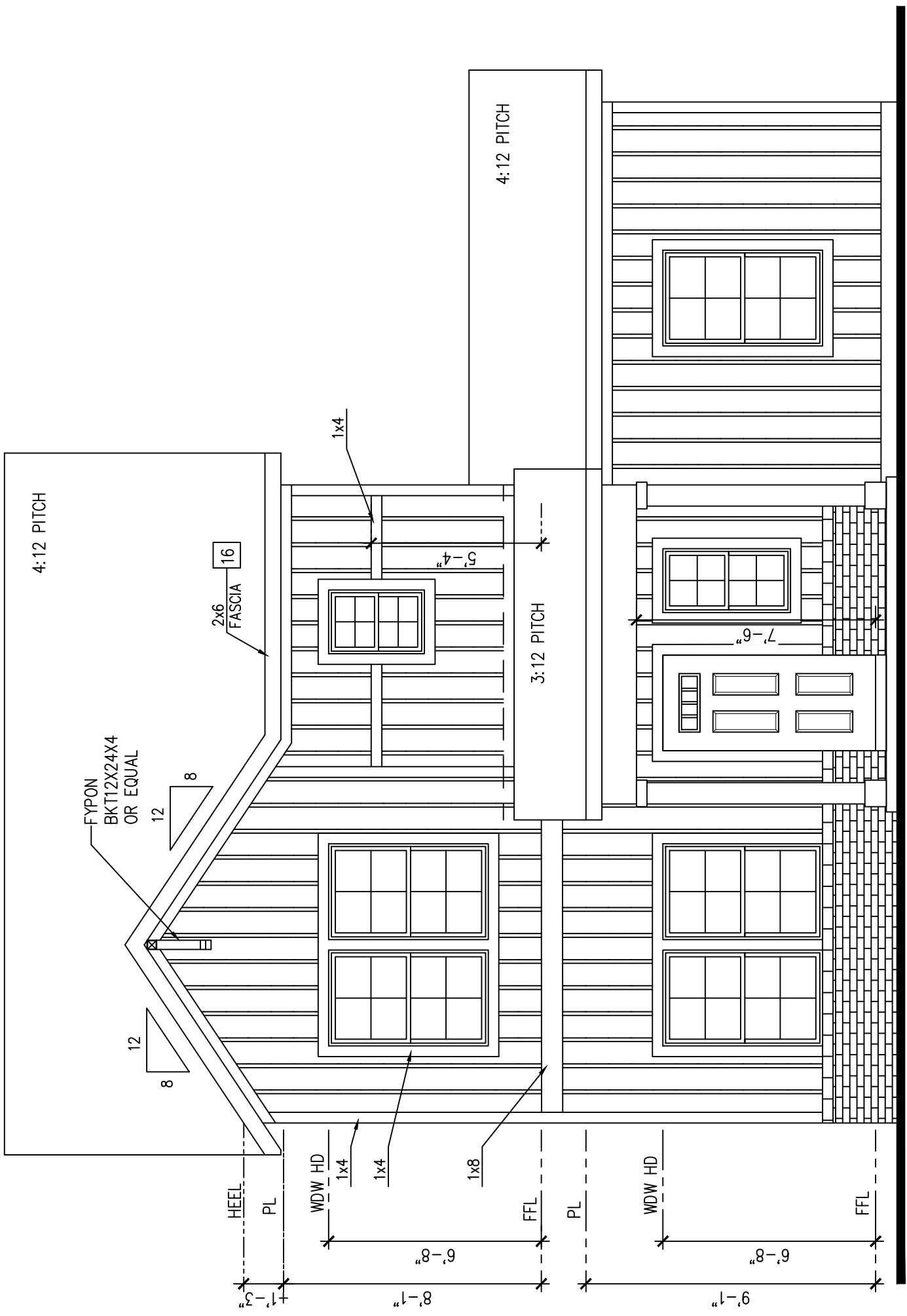
THIS PLOT PLAN DOES NOT REPRESENT A LAND SURVEY,
WAS NOT PREPARED FOR RECORDATION, AND IS NOT
SUITABLE FOR DEEDING OF PROPERTY. NO GROUND
SURVEY WAS PERFORMED.



JEREMY W. REEDER
S.C.P.L.S. No. 28139
NOT VALID UNLESS CRIMPED WITH SEAL



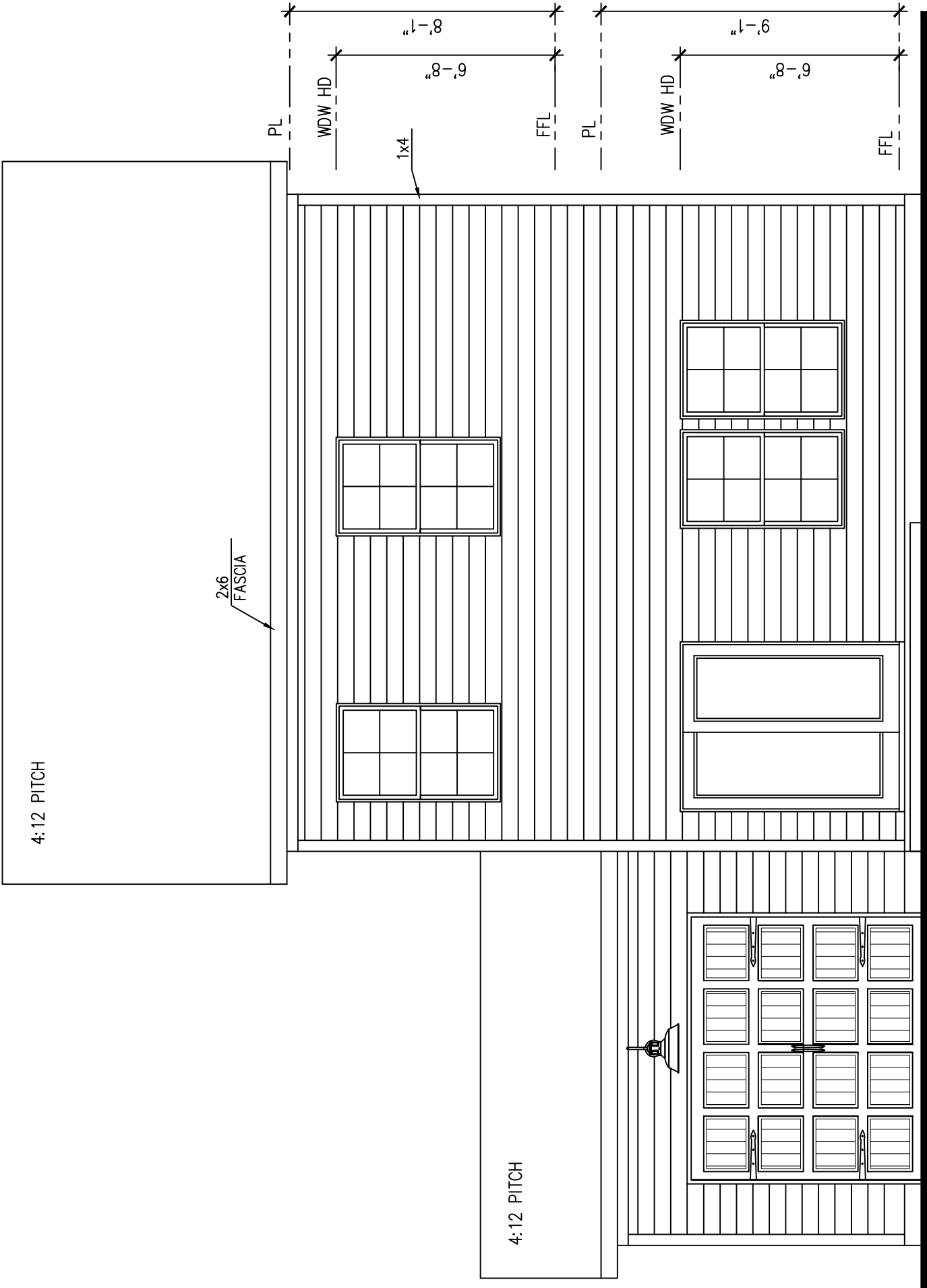
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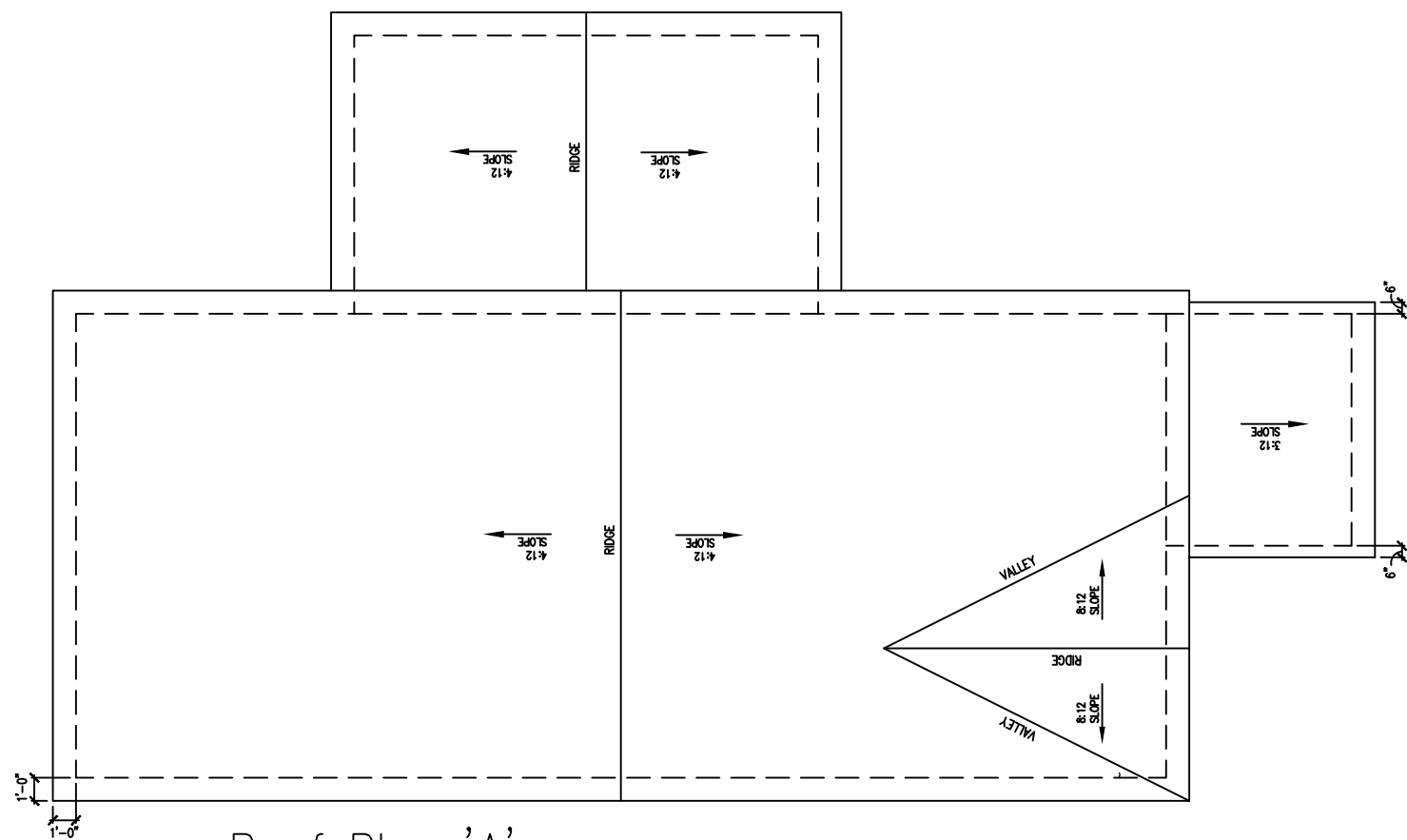
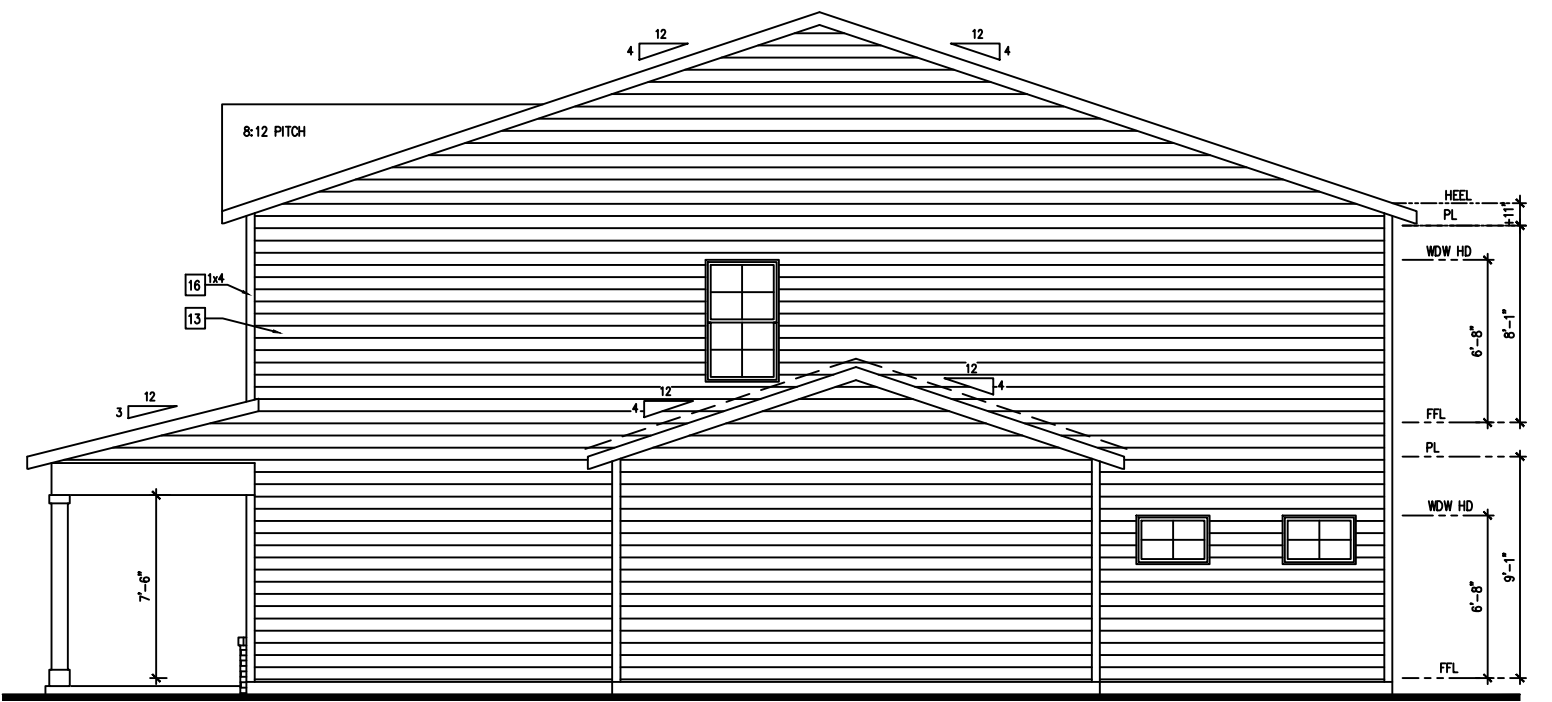
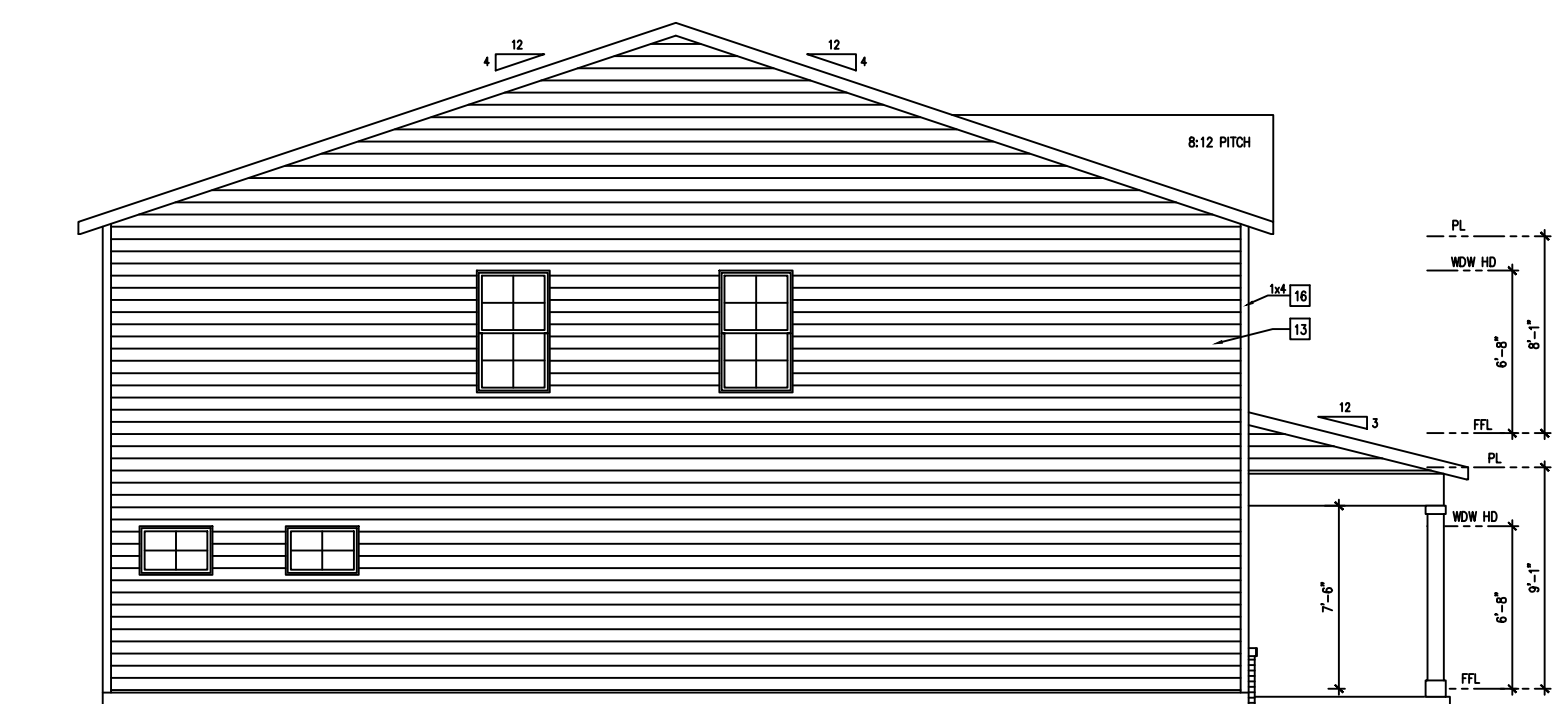
Front Elevation 'A'

F.F. OF PORCH TO BE
 4" ABOVE FINISHED GRADE

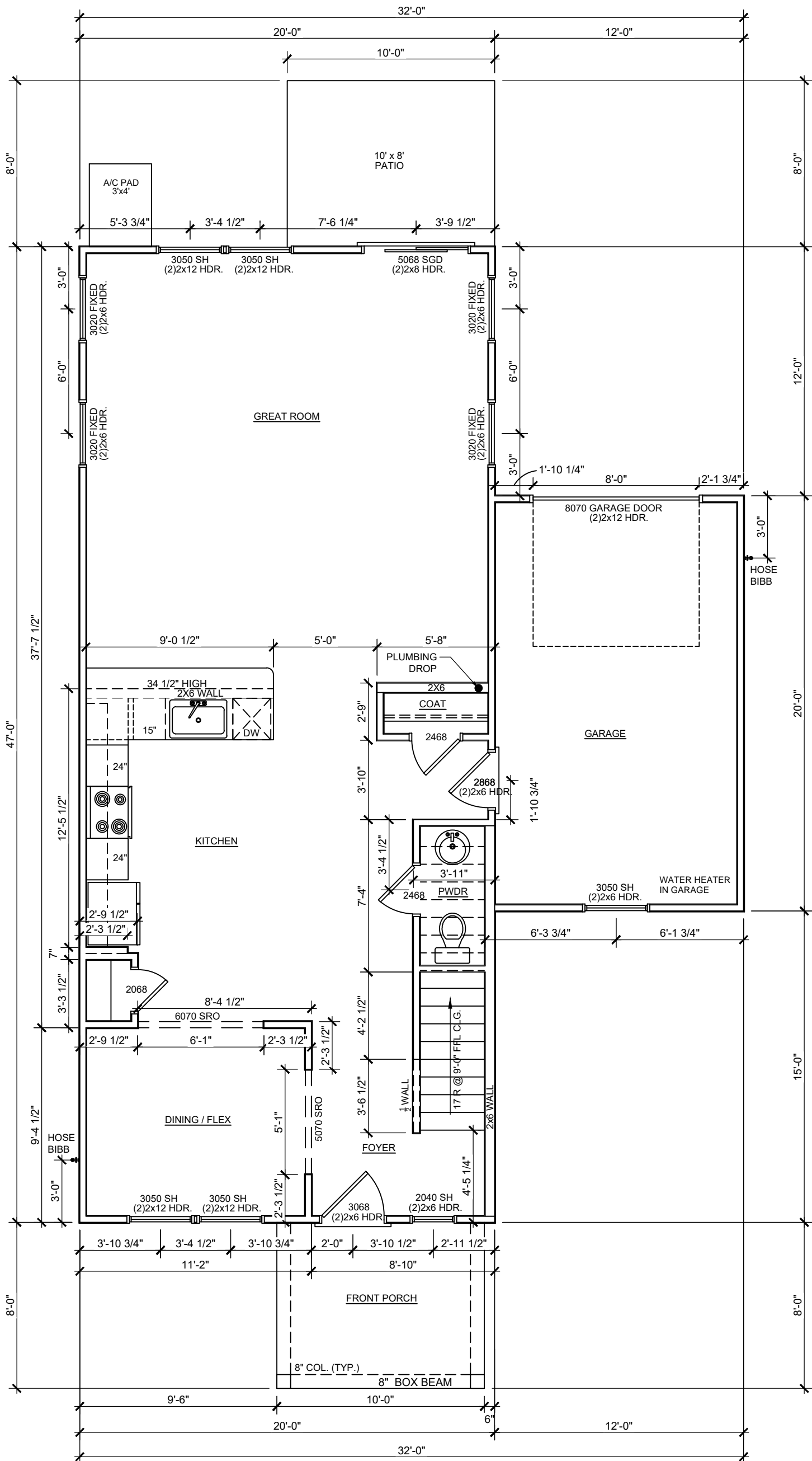
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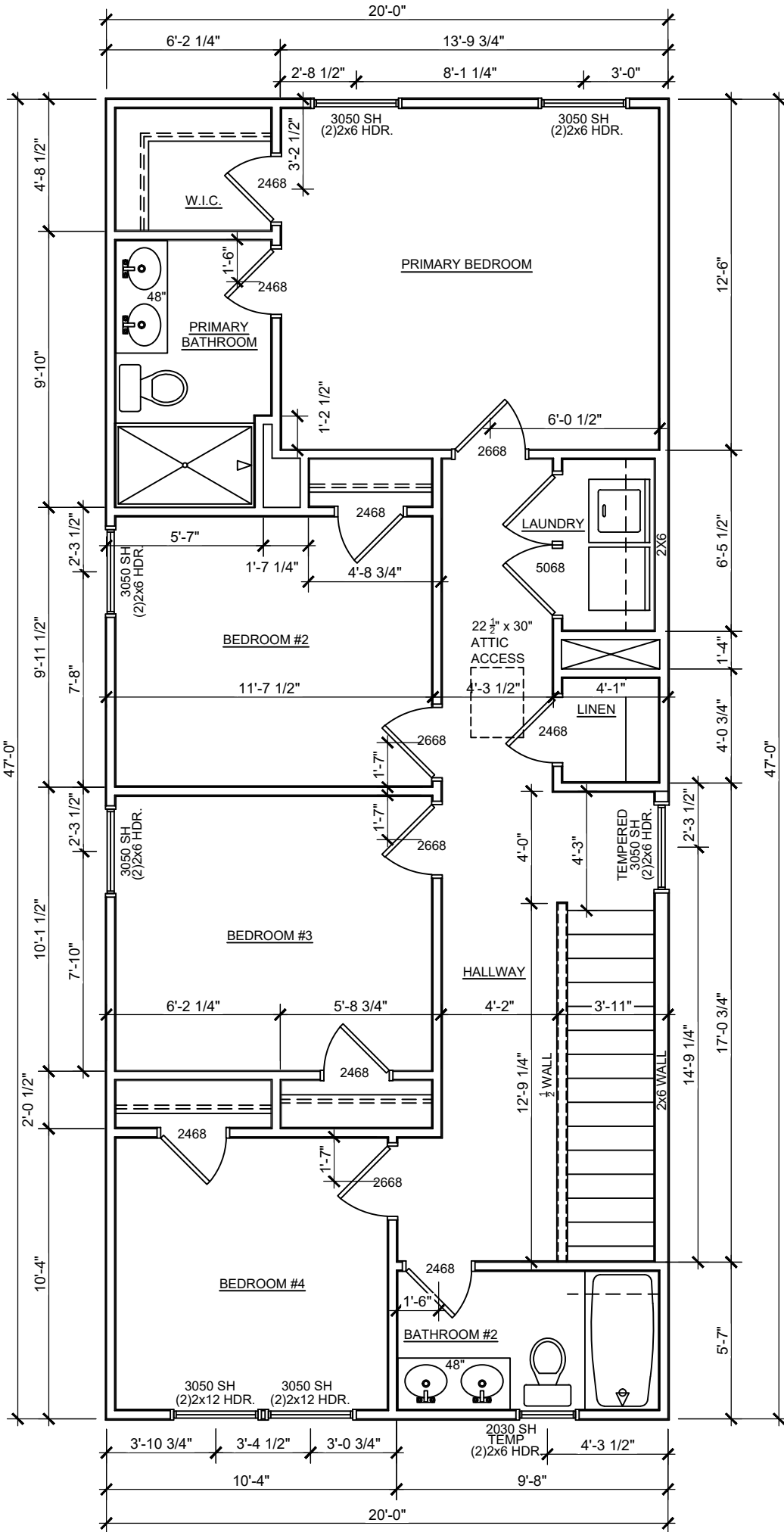


Rear Elevation 'A'



Roof Plan 'A'





03-19-2026

COTTAGE PARK

LOT # P

THE PINE 'B'

4 BEDROOM / 2.5 BATH
1-CAR GARAGE - FRONT LOAD

32'-0" WIDE X 55'-0" DEEP

GARAGE RIGHT

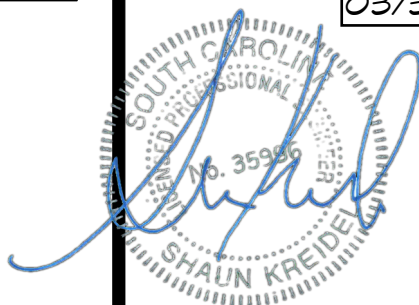
SQUARE FOOTAGE TOTALS

MAIN LEVEL HEATED.....	940SF
UPPER LEVEL HEATED	887 SF
<u>TOTAL HEATED.....</u>	<u>1827 SF</u>

FRONT PORCH.....	144 SF
GARAGE.....	240 SF
<u>TOTAL UNHEATED.....</u>	<u>384 SF</u>

<u>TOTAL FOOTPRINT.....</u>	<u>1324 SF</u>
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03/30/2026



FOR STRUCTURE ONLY

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- S0.0
- S1.0
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- SD3.0

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LEGEND

- ▲ CALC POINT - CORNER NOT SET
- BSL BUILDING SETBACK LINE
- ▣ AIR CONDITIONING UNIT
- ▨ CONCRETE
- ▧ ASPHALT
- ▩ GRAVEL

NOTES

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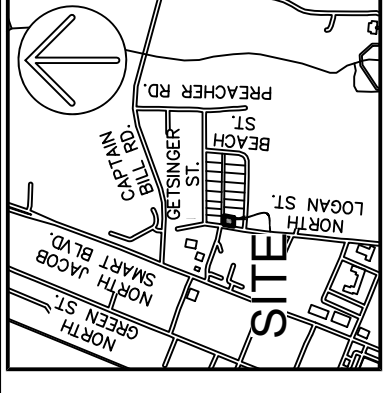
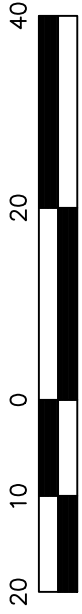
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1. A CAD FILE PROVIDED BY CLIENT.
2. PB: 30 PG: 103
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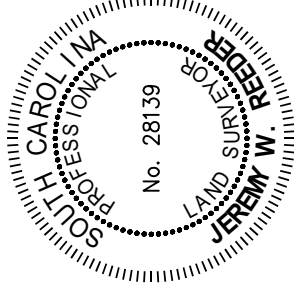
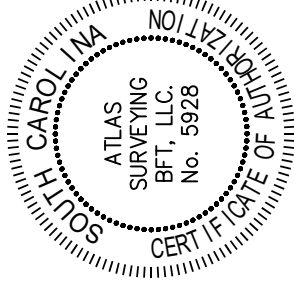
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McGUINN HOMES
 A PLOT PLAN OF

LOT P
#1022 LOGAN ST. N.
COTTAGE PARK

TAX PARCEL No.
 063-26-35-036

RIDGELAND
 JASPER COUNTY, SOUTH CAROLINA

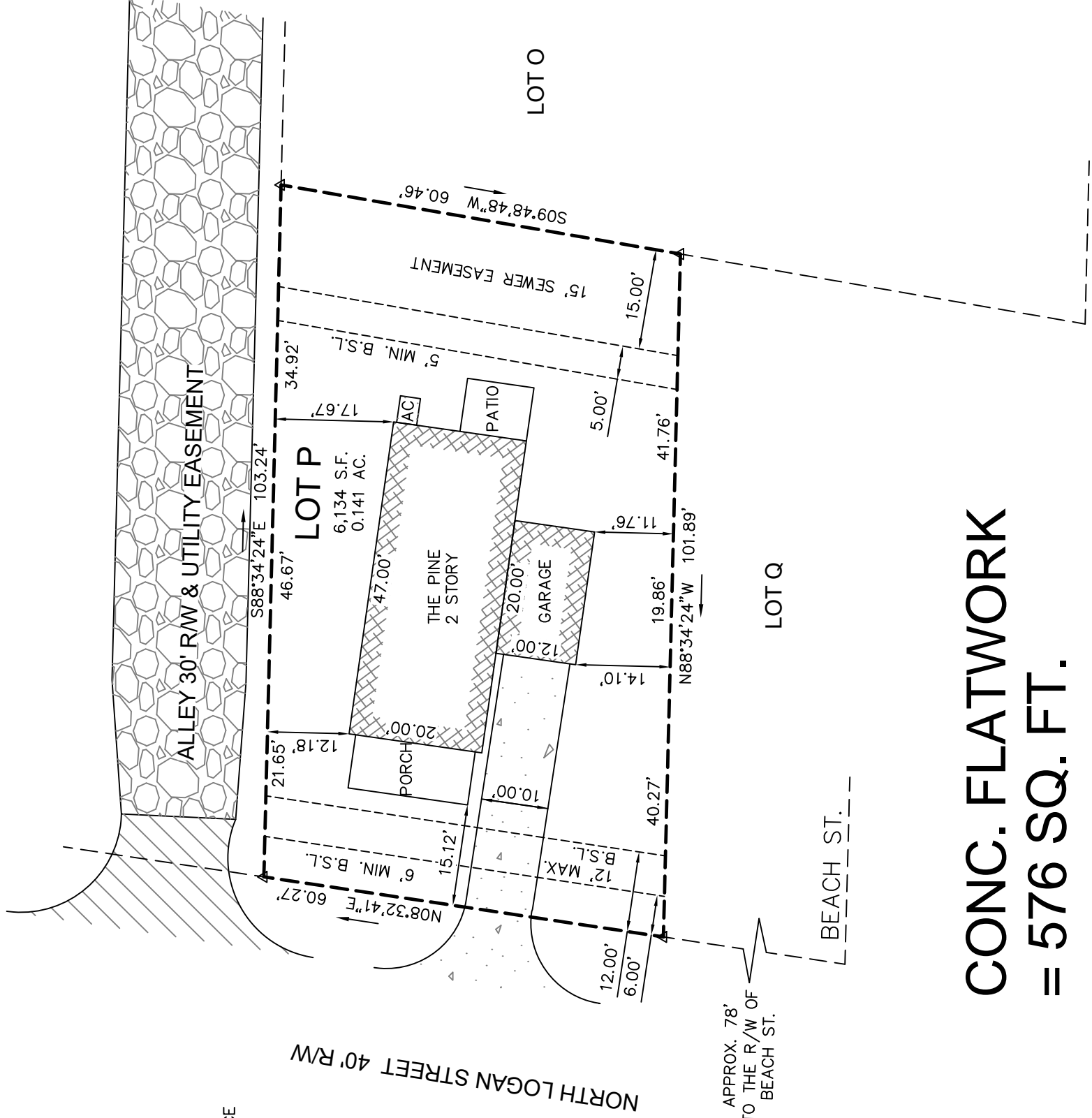
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 PROJECT No.: BFT-26089
 FILE: BFT-26089-LOT P.DWG



THIS PLOT PLAN DOES NOT REPRESENT A LAND SURVEY,
 WAS NOT PREPARED FOR RECORDATION, AND IS NOT
 SUITABLE FOR DEEDING OF PROPERTY. NO GROUND
 SURVEY WAS PERFORMED.

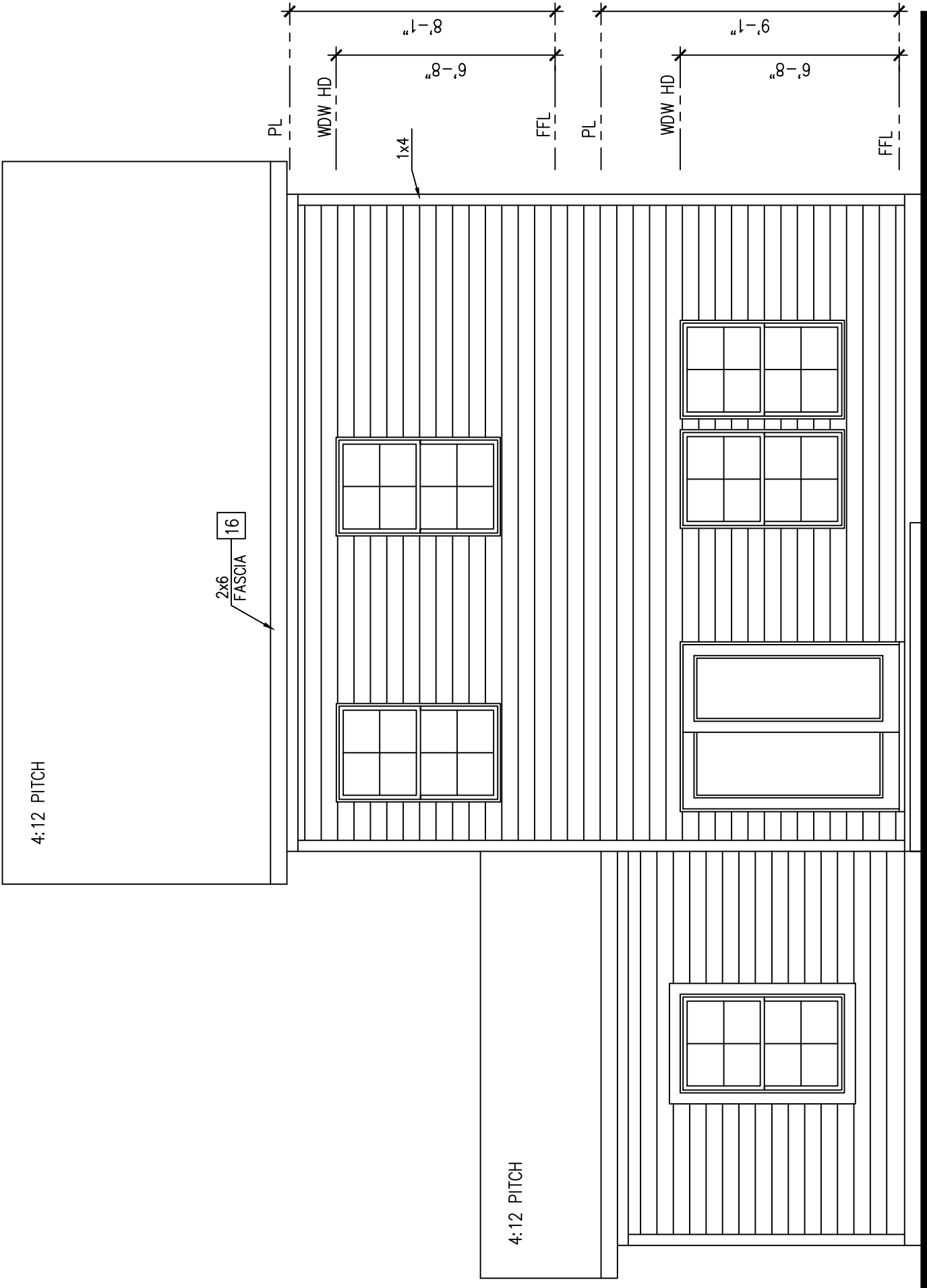


JEREMY W. REEDER
 S.C.P.L.S. No. 28139
 NOT VALID UNLESS CRIMPED WITH SEAL

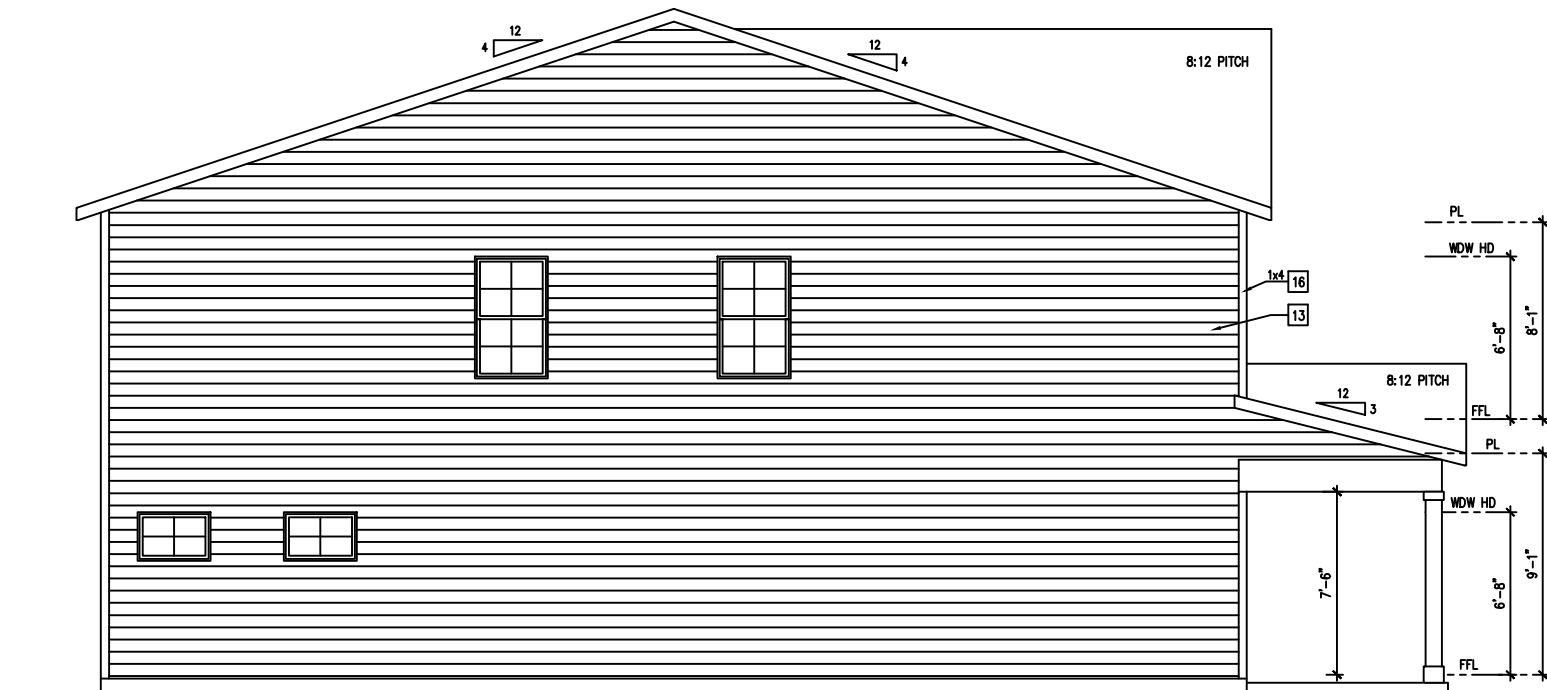


CONC. FLATWORK
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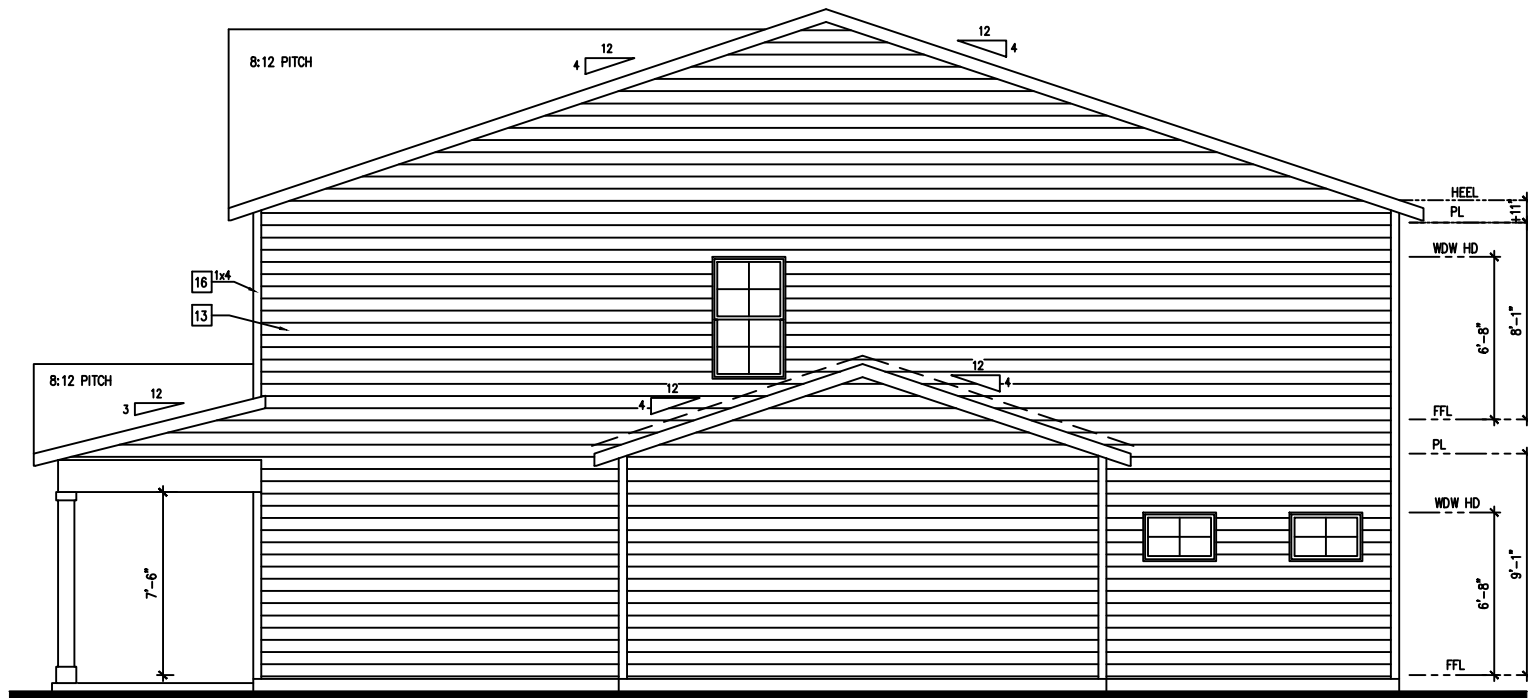
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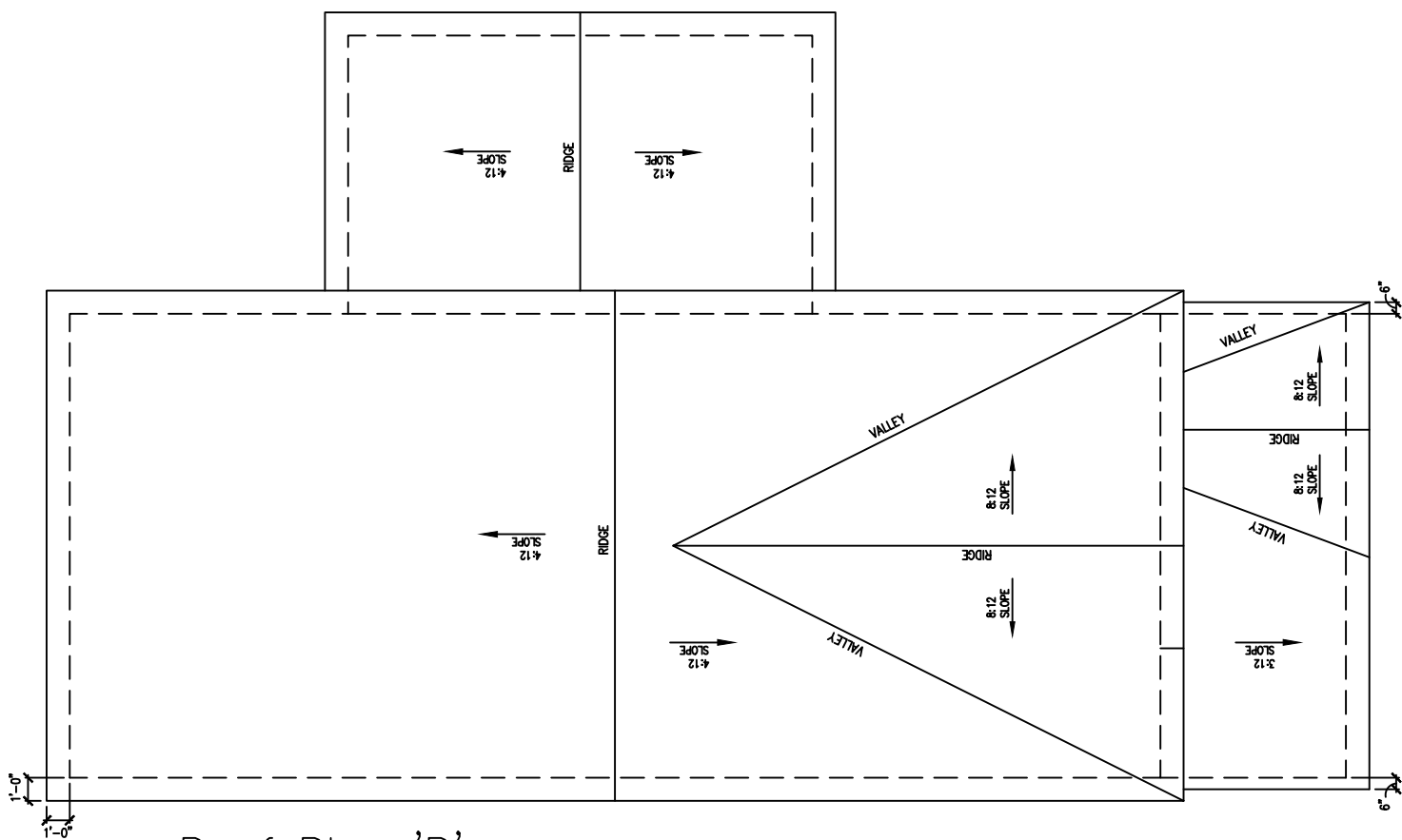
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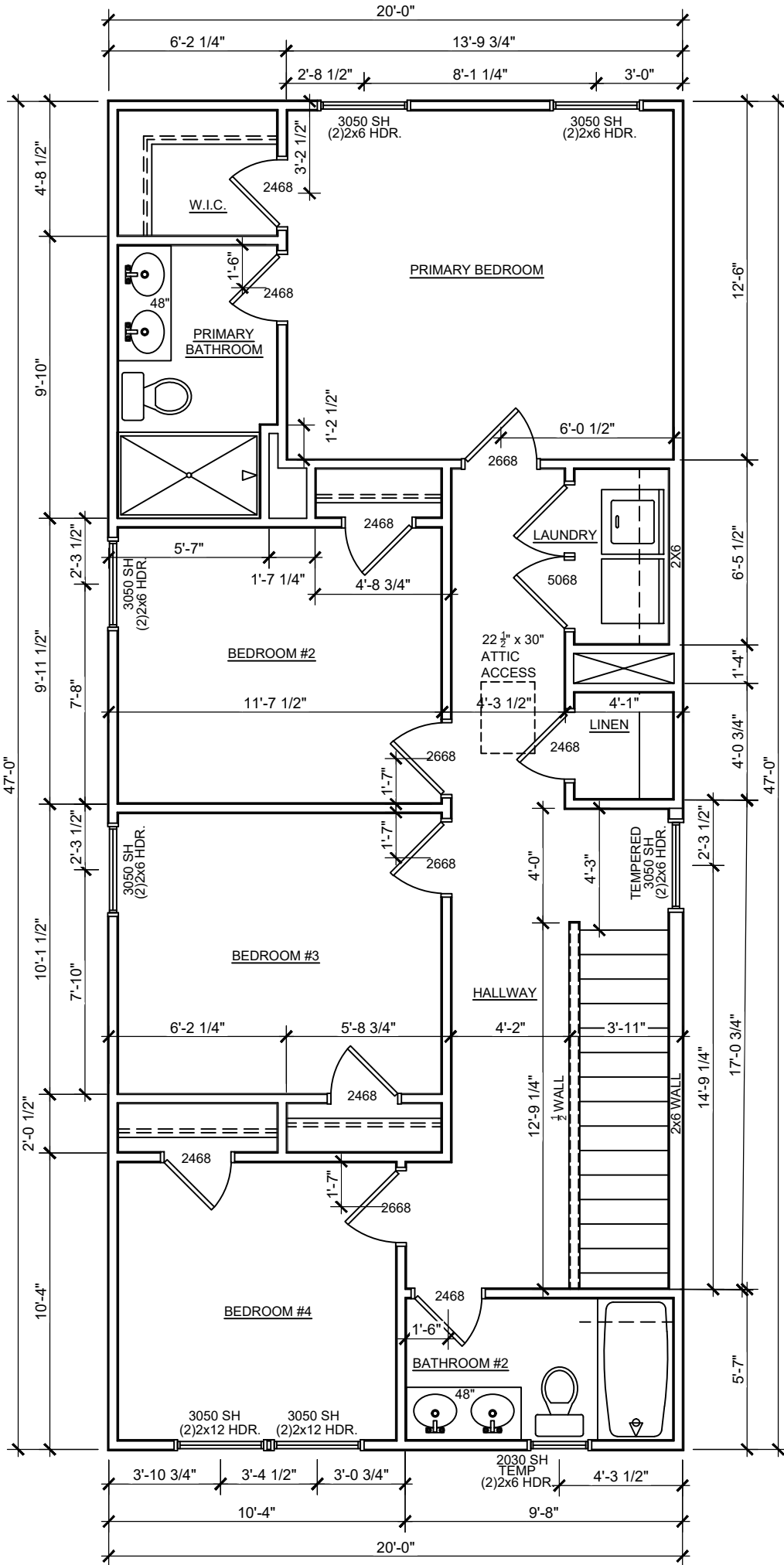
Left Elevation 'B'



Right Elevation 'B'



Roof Plan 'B'







5.13 - ARCHITECTURAL STANDARDS.

5.13.1 The following architectural standards shall apply to all structures in the following transect zones: T2.5, T3, T4, T5, and SD-Exit 2.

Overall design of new structures should follow the Lowcountry, coastal Southern style of architecture designed for hot, humid, and flood-prone regions, characterized by raised foundations, wide, shaded, or screened-in porches, and high ceilings. It emphasizes indoor-outdoor living, with materials like hardy plank or wood siding, metal roofs, and large windows to encourage ventilation and capture coastal breezes.

Key Features of Lowcountry Architecture:

Elevated Foundations: Homes are raised on brick piers, columns, or pilings to protect against coastal flooding and allow air circulation, which helps manage moisture. While not mandatory outside of floodplains, elevated foundations or stem wall slabs are preferred. However, new construction within the 100-year floodplain must be raised on crawlspaces or stilts to reduce fill and improve resilience.

Deep Wraparound Porches: A staple element that provides shade, encourages outdoor living, and protects interior spaces from direct sunlight.

High Ceilings & Rooflines: Steeply pitched roofs shed heavy rain, while 10-to-14-foot ceilings allow hot air to rise away from living spaces.

Strategic Ventilation: Features like central hallways (often designed as breezes-ways), transoms above doors, and double-hung windows are designed for cross-ventilation.

Natural/Local Materials: Commonly features materials like tabby (shell-embedded concrete), wood, fiber cement or composite siding, and durable metals that suit the coastal climate.

Common Sub-styles & Elements:

Lowcountry Cottage: Smaller, cozy homes featuring front-facing gables, metal roofs, and breezy porches.

Charleston Style: Known for "piazzas" (side porches) that run the length of the house, often built close to the street for urban settings.

Plantation Style: More formal, Antebellum-inspired homes with symmetrical facades, large columns, and large windows.

5.13.2 Walls—Materials.

- A. Walls shall be finished in wood clapboard (sealed with paint or stain), board and batten, cedar shingles, "hardie plank," stucco, or brick. ~~Walls may be finished in brick as approved by the CRC.~~ Walls for single family residential units may be finished in vinyl siding ~~on a case by case basis as approved by the CRC, using a minimum thickness of 0.52".~~
- B. Foundation walls, and piers shall be parged block, smooth finished poured concrete, tabby, stucco or brick.
- C. Crawl space may be skirted with horizontal wood boards, or framed wood with not more than 1.5" spaces between boards or wood louvers. Lattice shall be installed between supports as approved by the CRC. Galvanized hardware cloth may be placed behind the lattice.
- D. Garden walls shall be stucco or brick. Gates in garden walls shall be wood or iron. Garden walls shall not be perforated with precast elements, but may accommodate pierced brick.
- E. Fences:
Cyclone (a.k.a. chain-link) fences are permitted provided that the metal material is color coated with polyvinyl chloride (PVC) or polyester or equivalent providing corrosion resistance and aesthetic appeal. Acceptable colors are black, green, or brown.

Fences on adjacent lots shall have different designs.

In front yards, fences shall adhere to the following standards:

1. Must be of the picketed type and made of smooth cedar, or p.t. wood pickets; spacing between pickets shall not exceed 1.5".
2. Cannot exceed 3' in height.

All other fences shall adhere to the following standards:

1. Constructed of wooden boards or polyvinyl chloride (PVC) with a rectangular section.
2. Fences may have stucco, brick, or tabby piers.
3. Wire fences are permitted if the posts are made of wood and the fence is evenly distributed with a growing vine native to the area, i.e., Carolina jessamine, Crossvine, American Wisteria, Carolina Jessamine, Maypop, and Trumpet Vine.
4. Privacy fences are allowed in rear yards (3rd tier) only and are not to exceed 6' in height for residential uses. Wooden fences must incorporate board on board design. Corner lots with double frontage are the exception where the side yard facing streetside shall not exceed four (4) feet. All fences shall be painted white, Charleston green, or stained.

~~Fences at frontages and in front yards shall be made of smooth cedar, or p.t. wood pickets; spacing between pickets shall not exceed 1.5". Fences in front yards cannot exceed 3' in height and must be of the picketed type. All other fences shall be made of wood boards with a rectangular section. Wood fences may have stucco, brick, or tabby piers. Wire fences are permitted as long as the posts are made of wood and the fence is planted with a growing vine i.e. jasmine, etc. Cyclone (a.k.a. chain link) fences are not permitted provided that the material is color coated with polyvinyl chloride (PVC) or polyester or equivalent to provide corrosion resistance and aesthetic appeal. The colors most used are black, green, and brown. Privacy fences are allowed in rear yards only and are not to exceed 6' in height for residential uses. Fences in front yards cannot exceed 3' in height and must be of the picketed type, shall be as indicated in the code. Wood fences shall be painted white or charleston green, unless otherwise approved by the CRC.~~

FG. Retaining walls shall be built of stucco, brick, or tabby.

(Ord. No. 01-2011, 5-5-11)

5.13.3 Walls—Configurations and techniques.

- A. Walls may be built of no more than two materials and shall only change material along a horizontal line, i.e. cedar shingles may be combined with wood siding when the material change occurs horizontally, (typical at floor line or a gable end), with the heavier material below the lighter. All the walls of a single building must be built of the same materials in the same configuration. Wood clapboard and shingles shall be horizontal. Board and batten may extend vertically.
- B. Siding shall be horizontal, maximum 6" to the weather. Board and batten may extend vertically.
- C. Boards with more than 6" to the weather shall show a 1" variation from one board to the next. Shingles shall be maximum 8" to the weather. Decorative shingles shall not be permitted.
- D. Stucco shall be smooth sand- or tabby-finished.
- E. Trim shall be minimum grade "B" trim lumber; and shall be 3.5" to 6" in width at corners and around opening, except at the front door, which may be any size (3.5" minimum) or configuration.
- F. Garden walls shall be minimum 8" thick and have a horizontal cap. Brick mortar joints shall be struck and no more than 3/8" wide.
- G. ~~Fences on adjacent lots shall have different designs.~~
- H. Walls shall be one color for each story but may blend colors in sections.

- I. Colors: Colors for all materials shall ~~be selected from a master list approved by the CRC. avoid high-intensity, neon, or metallic colors, while emphasizing muted, earthy, or pre-approved palettes to ensure new buildings complement existing structures.~~ Rough siding shall be a dark color. Masonry, smooth siding and trim shall be a light color, which may or may not be the same as the wall color.
- J. Paints and stains: All exterior smooth wood shall be painted. Wood shingles may be left to age naturally, or shall be stained.

5.13.4 Elements—Materials.

- A. Chimneys shall be finished with stucco or brick. Flues for pot belly stoves shall be metal with an appropriate lintel or jack arch.
- B. Piers and arches shall be made of stucco, brick, or tabby.
- C. Porches, columns, posts, spindles and balusters shall be made of wood. Porches may be enclosed with glass or screens for a maximum of 30% of their length; however glass enclosures are not permitted at frontages. Porch ceilings may be enclosed with painted wood; exposed joists shall be painted.
- D. Arcades in Zone T4 or T5 shall be metal or stucco, with wood or metal posts, railings, and balconies.
- E. Stoops shall be made of wood, brick, or concrete. If concrete, a stoop shall have brick or stucco cheek walls.
- F. Decks shall be located in rear yards only, elevated a maximum of 30' above grade and painted or stained (except walking surfaces which may be unpainted).
- G. Awnings ~~shall have a with with~~ metal structures ~~shall be~~ covered with canvas or synthetic canvas. Metal awnings or wood and metal awnings are allowed
- H. Metal elements shall be unpainted galvanized steel, anodized or ESP aluminum, or marine grade aluminum.
- I. Patios and stoops may have horizontal surfaces made of brick, or tabby.
- J. The following shall not be permitted: signs (on private property).

5.13.5 Elements—Configurations and techniques.

- A. Chimneys shall be a minimum 2:1 proportion in plan and capped to conceal spark arresters. Fireplace enclosures and chimneys shall extend to the ground.
- B. Porch piers of masonry construction shall be no less than 12' × 12".
- C. Arches of masonry construction shall be no less than 12" in depth.
- D. Arcades and breezeways shall have vertically proportioned openings.
- E. Screen porches shall have screens framed in wood installed behind framed railings.
- F. Columns (the classical orders), if provided, shall be of the tuscan or doric orders with correct proportions or profiles according the American Vignola.
- G. Posts shall be no less than 6" × 6", except at outbuildings. Railings shall have horizontal top and bottom rails. Wood top rails shall be eased and bottom rails shall have a vertical section. Top and bottom rails shall be centered on the pickets. The opening between spindles and balusters shall not exceed 4".
- H. Balconies which cantilever shall be structurally supported by brackets.
- I. Signs attached to buildings shall be integral to the storefront, no larger than 18" in height and externally lit.
- J. Awnings shall be rectangular in shape with straight edges.

- K. Awnings may have side panels but shall not have a bottom soffit panel. Awnings shall not be backlit.
- L. Spotlights attached to building walls or roof eaves are only permitted in rear yards and illuminating cone shall not emit excess or direct light beyond property line.
- M. Wood elements must be painted or stained with an opaque or semi-solid stain, except walking surfaces which may be left natural.

5.13.6 Roofs—Materials.

- A. Roofs shall be clad in wood shingles, (corrugated, 5 V crimp or standing seam) galvanized steel, galvalume or copper. Asphaltic or fiberglass shingles shall be architectural grade and shall be submitted for approval.
- B. ~~Gutters and downspouts, when used, shall be made of galvanized steel, copper (not copper-coated), anodized or ESP aluminum.~~
- C. Flashing shall be copper, lead or anodized aluminum.
- D. Copper roofs, flashing, gutters, and downspouts shall be allowed to age naturally (not painted or sealed).

5.13.7 Roofs—Configurations and techniques.

- A. Principal roofs shall be a symmetrical gable or hip with a slope of 6:12 to 10:12.
- B. Ancillary roofs (attached to walls at the highest portion of the principal building) may be shed sloped no less than 2:12. Roofs on towers shall be flat or have a slope of 4:12 to 8:12.
- C. Flat roofs, including flat roofs on towers, shall be permitted only when occupiable and accessible from an interior room. Flat roofs shall have a railing or parapet wall no less than 36" high.
- D. Parapets shall be horizontal.
- E. Eaves shall be continuous. Eaves which overhang less than 8" shall have a closed soffit. Eaves which overhang more than 16" shall have exposed rafters. Eaves which overhang between 8" and 16" shall have either a closed soffit or exposed rafters. Rafter tails may not exceed 8" in depth.
- F. ~~Gutters shall be half-round. Downspouts shall be round.~~
- G. Dormers shall be habitable (is this necessary?), placed a minimum of 3' from side building walls and have gable or shed roofs with a slope to match the principal structure or shed roofs with a slope 3:12. Dormers shall not be excessively larger than windows, i.e. no siding at either side of windows. Dormer eaves and rake trim should be scaled down from primary eaves and rake trim proportions (66%).
- H. Skylights shall be flat and mounted so as not to be visible from any fronting street.

5.13.8 Openings—Materials.

- A. To increase the aesthetic of a side walls, 10–15% of the wall area shall be utilized for windows in traditional homes, or up to 30%+ for modern, high-end designs.
- B. Windows shall be made of wood (painted), vinyl or aluminum clad and shall be glazed with clear glass. All trim shall be no less than 3.5". Bay windows shall be made of trim lumber. Corner trim shall be no less than 4".
- ~~CB.~~ Doors (including garage doors) shall be wood, or metal, or aluminum. Doors shall be painted or stained.
- ~~DC.~~ Storefront shall be made of wood, or metal.
- ~~ED.~~ Shutters shall be wood, PVC, painted, and shall be sized and placed so as to equal the width that would be required to cover the window opening. Operable shutters preferred.

~~FE~~. Security doors and window grilles must be approved.

5.13.9 Openings—Configurations and techniques.

- A. Windows rectangular single-, double-, or triple-hung, awning, fixed (under 2 sf), or operable casement types, with a square to vertical proportion. Transoms may be oriented horizontally with panes of vertical proportions. Multiple windows in the same rough opening shall be separated by a 4" minimum post. In masonry walls the centerline of the window sash shall align with the centerline of the wall.
- B. Window muntins shall be true divided light or simulated divided light windows or fixed on the interior and exterior surface and create panels of square or vertical proportion.
- C. Bay windows shall have a minimum of 3 sides and shall extend to the floor inside and to the ground outside, if located on the ground floor or, if not, be structurally supported by brackets.
- D. Storm windows and screens shall be integral with the window. Screens shall be made of brass, bronze, ~~or black~~ or grey vinyl.
- E. Front doors, including the entry door to the porch on side yard houses, shall be located on the frontage line. (Paired doors are not permitted at frontages. Windows in doors must be rectangular and ~~vertically-oriented~~vertically oriented; ~~if no additional windows are present on the front façade.~~)
- F. Doors shall be hinged. Doors, except garage doors, shall be constructed of planks or raised panels not flush with applied trim which express the construction technique.
- G. Garage doors facing a street frontage shall be a maximum of 10' in width. Garage doors facing an alley shall have a light fixture, ~~with an incandescent bulb activated by a photocell.~~ Garage doors shall be painted or stained. Storefronts shall be painted a dark gloss color.
- H. ~~Shutters shall be preferably operable, and sized and shaped to match the openings.~~
- I. Stucco trim articulations shall be subject to approval by the CRC.
- J. ~~An accent color, for items such as the front door and shutters, may be used subject to approval from the CRC.~~

5.12 - SIGNAGE STANDARDS.

5.12.1 General to Zones T2, T2.5, T3, T4, T5, SD-Exit 21.

- A. There shall be no signage permitted additional to that specified in this section.
- B. The address number, no more than 6 inches measured vertically, shall be attached to the building in proximity to the principal entrance or at a mailbox.
- C. Architecturally compatible ground level signs shall not exceed 6' in height, 8' in length and 2' in width, ~~and they shall be authorized by CRC.~~

5.12.2 Specific to Zones T2, T2.5, T3.

- A. Signage shall not be illuminated.

A.12.3 Specific to Zones T4, T5.

- A. Signage may be externally illuminated with downward cast lighting, except that signage within the shopfront glazing may be neon lit subject to the neon sign being approved by the CRC.

B. Prohibited signs:

- i. Any sign which the Administrator determines obstructs the view of bicyclists or motorists using any street, approach to any street intersection, or which interferes with the effectiveness of or obscures any traffic sign, device, or signal shall be prohibited.
- ii. Illuminated, highly reflective signs, or spot lights which hamper the vision of motorists or bicyclists.
- iii. Signs not erected by a public authority which may be erroneously construed as government signs or emergency warning signs. An example of this is a sign which contains a picture of a traffic sign plus the word "Stop" or "Yield."
- iv. Any sign located outdoors which interferes with free passage from or obstructs any fire escape, downspout, window, door, stairway, ladder, or opening intended as a means of ingress or egress or providing light or air.
- v. Flashing signs, signs with flashing or reflective disks, signs with flashing lights or lights of changing degree of intensity or color.
- vi. Signs placed on property without permission of its owners or agent.
- vii. Illuminated tubing or strands of lights except for neon accent trim (if approved by the CRC), temporary holiday displays, and town-approved displays.
- viii. Portable or temporary signs except as permitted below.
- ix. No manufactured home, mobile home, shipping container, recreational vehicle, or similar structure or non-structure shall be used as a sign in any manner.

x. Facsimile signs, three-dimensional objects, or human figures which may or may not contain advertising matter and may or may not contain information about products sold on the premises and is located in such a manner as to attract attention.



K.

xi. Parked vehicles with messages (exempting vehicles with commercial advertising which are used regularly and customarily to transport people or property for business).



L.

xii. Rotating signs, other than on-premises rotating identification names which contain a logo and/or business name on it.



M.

xiii. Roof signs.



N.

xiv. Any sign whose sign face was initially constructed and designed to be placed and/or transported on wheels.



C. Window Signage Regulations (Signs and Decals)

- a. The goal is to prevent cluttered, distracting, or low-quality storefronts.
- b. Transparency Requirements: A minimum of 50% of the window surface at pedestrian eye level (e.g., 3 to 7 feet above the sidewalk) shall remain transparent to allow views into the store.
- c. Sign Coverage Limit: Temporary and permanent signs, including vinyl letters and clings, shall cover no more than 25% of the total glassed area.
- d. Content Restrictions: Window graphics shall be professional, designed for brand visibility, and avoid excessive text.
- e. Allowed Types: High-quality, professional vinyl lettering, contour-cut decals, and perforated, one-way vision graphics are generally allowed.
- f. Prohibited Items: Handwritten signs, posters or poster paper, banners (unless for short-term, permitted events as allowed in Section 28.70 Special event signs), and bright neon/LED signs.
- g. Placement: Signs shall be placed on the interior of the glass, preferably in the upper or lower corners, rather than centered, to maximize visibility through the window.

D. Window Curtains and Treatments

- a. The goal is to maintain an engaging, "open" look while allowing for practical needs like privacy or sun protection.
- b. Prohibited Coverings: Blinds, curtains, heavy drapery, or aluminum foil that completely block the view from the street are prohibited.
- c. Permitted Treatments: If blinds or shades are necessary for sun protection, they must be consistent in color (typically neutral) and style with the building facade.
- d. Retail/Office Use: Offices or service businesses that require privacy (e.g., spas) should use frosted window film (which mimics etched glass) instead of curtains or blinds.
- e. Seasonal/Event Decor: Holiday decorations are permitted but shall be removed promptly after the season.

E. Design Guidelines and Compliance

- a. Compatibility: All treatments must be compatible with the architectural style of the building.
- b. Maintenance: Signs and window treatments must be kept in good repair. Faded, peeling, or damaged signs must be replaced or removed.
- c. Visibility & Lighting: Gooseneck reflectors or internal, high-quality lighting that illuminates the display (rather than blinding pedestrians) are encouraged to increase, not obscure, visibility.
- d. Non-Conforming Uses: Existing signs that do not meet these standards should be brought into compliance within thirty (30) days of code violation notification. Any person violating this section shall be deemed guilty of a code infraction and

subject to a fine or imprisonment not to exceed the limits set by the town code for misdemeanors and shall pay all costs incurred by the town in the removal of said sign, announcement and/or advertising matter.

- e. The applicant for a sign permit shall be responsible for compliance with all state and federal laws and regulations pertaining to signs, and the issuance of a sign permit by the town shall not be construed to certify compliance with such laws and regulations.

5.12.4 Specific to Zones T2, T2.5, T3, ~~T4~~.

- A. One blade sign for each business may be permanently installed perpendicular to the facade within the first layer. Such a sign shall not exceed a total of 8 square feet and shall clear 8 feet above the sidewalk.

5.12.5 Specific to Zones T4 and T5.

- A. Blade signs, not to exceed 10 square feet for each separate business entrance, may be attached to and should be perpendicular to the facade, and shall clear 8 feet above the sidewalk.
- B. A single external permanent sign band may be applied to the facade of each building, providing that such sign ~~not exceed~~does not exceed 3 feet in height by ~~any ten feet in~~ length and proportional to the front façade.
- C. Signs shall be made of wood or enameled steel or equivalent material.

5.12.6 Specific to Zone SD-Exit 21.

- A. All proposed signage shall be reviewed and approved by the CRC.