

**ZBOA MEMBERS**

Milton Woods – Chairman  
Jessica Dailey  
Marlon Sheffield  
Heyward Pinckney

**MEETING AGENDA****Town of Ridgeland****BOARD OF ZONING APPEALS**

Thursday, October 9, 2025, 5:30 P.M.

**Town Hall, Council Chambers, 1 Town Hall, Ridgeland, SC 29936**

**STATEMENT OF MEDIA NOTIFICATION:** “In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place, and agenda of this meeting.”

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**I. Call to Order: Pledge of Allegiance by Chairman Milton Woods**

**II. Approval of the Minutes:**

**III. Case(s): each case(s) includes a public hearing:**

**Case 1:**

The Applicant, Clearview Homes, LLC, is requesting the following variances to Section 5.13 and Article 6, Table 4 of the Town of Ridgeland Smart Code for properties located at 062-00-10-074, a.k.a., Rice Shire Woods off Tammy Drive:

- a. Section 5.13.2A to allow the use of beaded vinyl siding
- b. Section 5.13.3B to allow vertical siding in addition to horizontal
- c. Section 5.13.3E to allow the use of vinyl trim
- d. Section 5.13.3H to allow more than one wall color
- e. Section 5.13.5.F to depart from columns (the classical orders), if provided, being of the Tuscan or Doric orders with correct proportions or profiles according the American Vignola
- f. Section 5.13.5G to allow for exterior post dimensions to be reduced from 6” X 6” to 4” X 4”
- g. Section 5.13.6.A to allow roofs clad in asphalt or fiberglass shingles not be architectural grade
- h. Section 5.13.6.B to clarify whether gutters and downspouts are required
- i. Section 5.13.8B to allow fiberglass doors
- j. Section 5.13.8D/ Section 5.13.9H to allow the use of non-operable shutters
- k. Section 5.13.9A to allow the use of twin windows removing the 4” min. post separation
- l. Section 5.13.9B to allow grate between window glass
- m. Section 5.13.9D to allow the use of gray vinyl storm windows and screens
- n. Section 5.13.9G to extend the maximum allowable garage door width facing street from 10’ to 16’
- o. Table 4 to allow porches to be less than 8 feet deep

**IV. Board Member Comments**

**V. Public Comment Time (Limited to 3 Minutes)**

**VI. Adjournment**



# Town of Ridgeland

Planning and Community Development

One Town Square · Post Office Box 1119 · Ridgeland, SC 29936

Phone: (843)726-7521 Fax: (843)726-7525

## Notice of Appeal – Form 1 Board of Zoning Appeals

Date Filed: \_\_\_\_\_ Permit Application No.: \_\_\_\_\_ Appeal No.: \_\_\_\_\_

### Instructions

This form must be completed for a hearing on **appeal** from action of an Administrative decision (AD), application for a **variance**, or application for **special exception**. Entries must be printed or typewritten. If the application is on behalf of the property owner(s), all owners must sign. If the applicant is not an owner, the owner(s) must sign the Designation of Agent.

An accurate, legible plot plan showing property dimensions and locations of structures and improvements must be attached to an application for variance or special exception.

### THE APPLICANT HEREBY APPEALS [indicate one]:

- ☐ from action of a Administrative decision as stated on attached Form 2.  
☒ for a variance as stated on attached Form 3.  
☐ for a special exception as stated on attached Form 4.

APPLICANT(S) [print] Clearview Homes LLC. Richard Schwartz

Address: 9 Loomis Ferry Road , Hilton Head SC 29928

Telephone: 704-208-7521 [work] \_\_\_\_\_ [home] Interest:

Owner(s): \_\_\_\_\_ Adjacent Owner(s); Other: \_\_\_\_\_

OWNER(S) [if other than Applicant(s)]: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ [work] \_\_\_\_\_ [home]

[Use reverse side if more space is needed.]

### PROPERTY ADDRESS:

Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision Rice Shire woods

Tax Map No.: 062-00-10-074 Plat Book \_\_\_\_\_ Page \_\_\_\_\_

Lot Dimensions: 75 x 275 Area: Rice Shire Road

Zoning District: RP Zoning Map Page: \_\_\_\_\_

**DESIGNATION OF AGENT** [complete only if owner is not applicant]: I (we) hereby appoint the person named as Applicant as my (our) agent to represent me (us) in this application.

Date: \_\_\_\_\_

Owner Signature(s)

I (we) certify that the information in this application and the attached From 2, 3, or 4 is correct.

Richard Schwartz

Date: 7/22/2025

Applicant Signature(s)



# Town of Ridgeland

*Planning and Community Development*

One Town Square · Post Office Box 1119 · Ridgeland, SC 29936

Phone: (843)726-7521 Fax: (843)726-7525

## Variance Application – Form 3 Board of Zoning Appeals

Date Filed: \_\_\_\_\_ Permit Application No.: \_\_\_\_\_ Appeal No.: \_\_\_\_\_

1. Applicant hereby appeals to the Board of Zoning Appeals for a variance from the strict application to the property described in the Notice of Appeal [Form 1] of the following provisions of the Zoning Ordinance: \_\_\_\_\_ Architectural review Standards \_\_\_\_\_ so that a zoning permit may be issued to allow use of the property in a manner shown on the attached plot plan, described as follows: \_\_\_\_\_ Rice Shire Woods \_ for which a permit has been denied by a Administrative Descision (DA) on the grounds that the proposal would be in violation of the cited section(s) of the Zoning Ordinance.

2. The application of the ordinance will result in unnecessary hardship, and the standards for a variance set by State law and the ordinance are met by the following facts.

- a. There are extraordinary and exceptional conditions pertaining to the particular piece of property as follows: \_\_Permitted and platted in 2013 as a traditional style community with lots on both sides of the road not allowing the applicable current development designs. The location of the property does not allow for sewer and water access.
- b. These conditions do not generally apply to other property in the vicinity as shown by: \_Rice Shire Road is an income challenged area, there are not many subdivisions in that area. \_\_\_\_\_
- c. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property as follows: No rear load garages and must utilize septic and well on each home site.
- d. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance for the following reasons: The property is surrounded by rural homes, dilapidated manufactured homes, broken down roads trash/ yard debris on many of the properties leading up to this property. \_\_\_\_\_

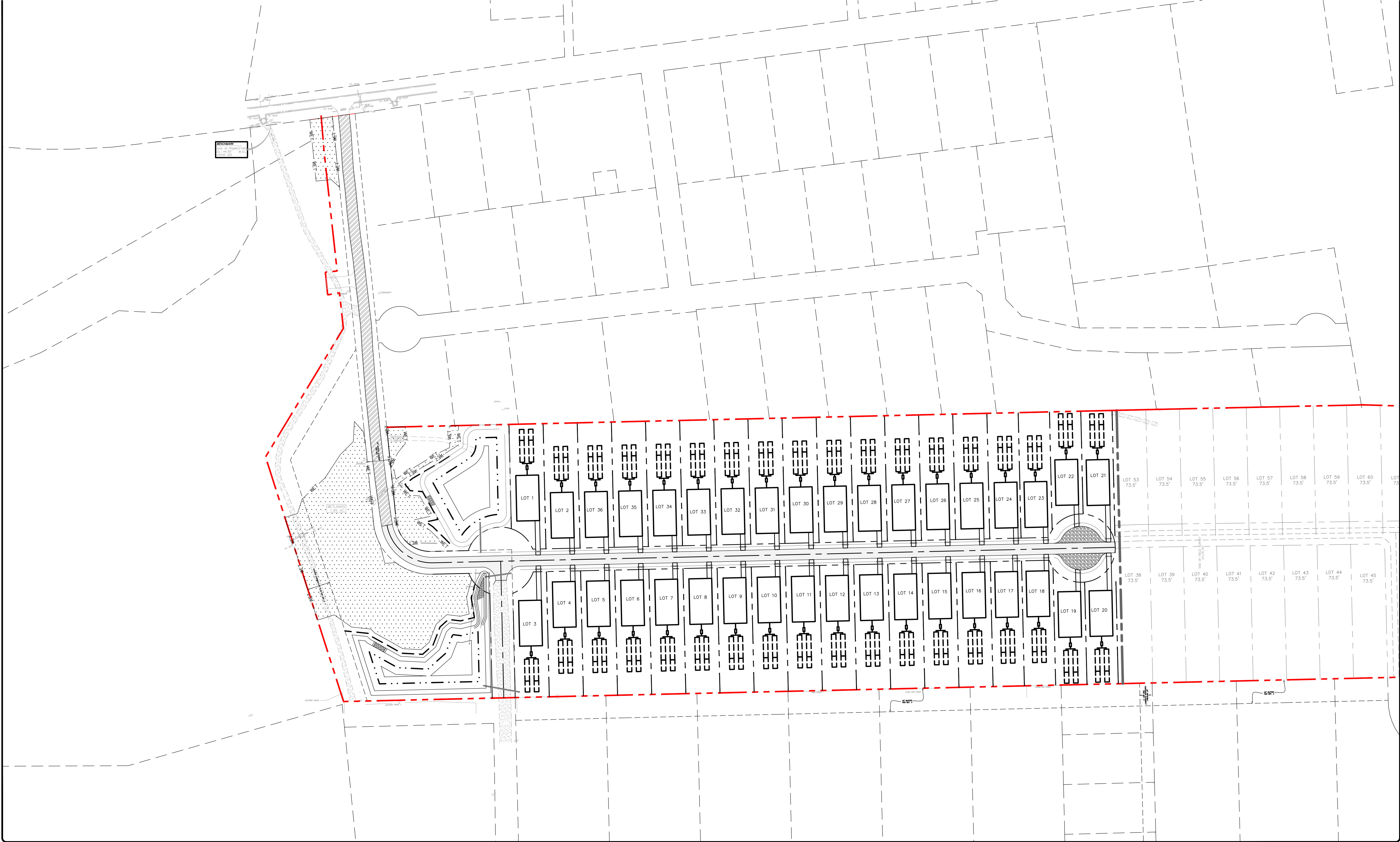
3. The following documents are submitted in support of this application [a plot plan must be submitted]: ARB standards variance requests

Date: 7/22/2025

*Richard Schwartz*

Applicant Signature

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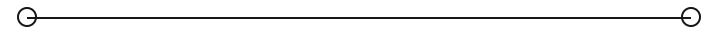


**SALE**

## Residential Land

**51.46 ACRES**

Ridgeland, SC 29936



**PRESENTED BY:**

**TOM DEMINT, CCIM**

Partner

C: 843.816.7191

[tdemint@svn.com](mailto:tdemint@svn.com)





# PROPERTY SUMMARY



## OFFERING SUMMARY

SALE PRICE:	
AVAILABLE SF:	
LOT SIZE:	51.46 Acres
PRICE / ACRE:	\$
ZONING:	RP (Rural Preservation)
MARKET:	Ridgeland
APN:	062-00-10-074

## PROPERTY OVERVIEW

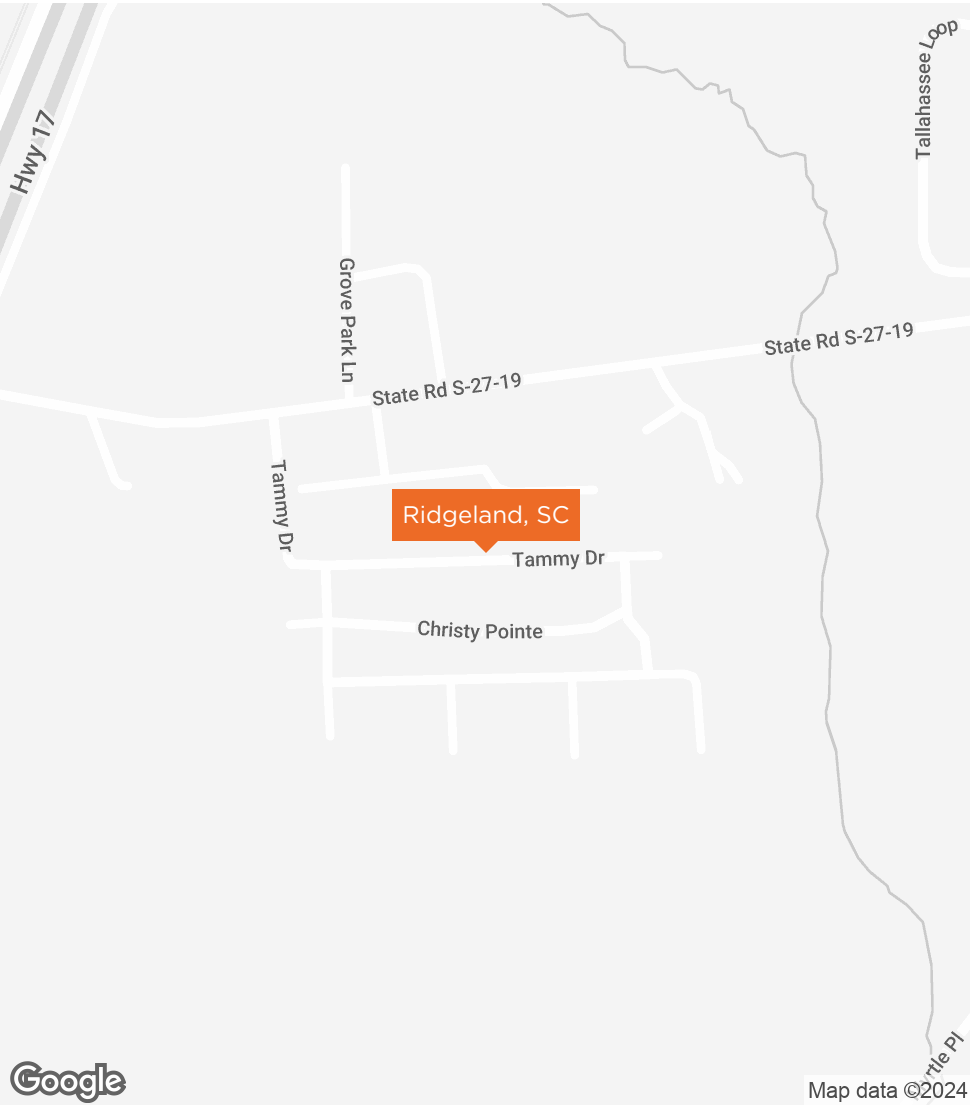
51.46 acre tract that can be developed into one or two acre residential lots. The property is bordered by smaller residential lots/homes to the north and south. There is an existing drive (Tammy Ln) that provides access to the property.

## PROPERTY HIGHLIGHTS

- 51.46 Acre Residential Tract In Ridgeland, SC
- Close to I-95
- Opportunity To Development One - Two Acre Lots

**TOM DEMINT, CCIM**  
Partner  
C: 843.816.7191  
tdemint@svn.com

# CITY INFORMATION



## LOCATION DESCRIPTION

The subject property is located in The incorporated area of Ridgeland, SC just off Exit 22 of I-95. Jasper County has historically been a rural area but in recent years has begun to experience significant growth with projects like Riverport, a 5,136 acre development which is master planned for over 15 million square feet of industrial and distribution space. Hilton Head Lakes, East Argent, Margaritaville, and South Point are very large mixed use developments that are also significantly changing the demographics of Jasper County.

## LOCATION DETAILS

MARKET	Ridgeland
COUNTY	Jasper

**TOM DEMINT, CCIM**  
Partner  
C: 843.816.7191  
tdemint@svn.com



## ADDITIONAL PHOTOS



**TOM DEMINT, CCIM**

Partner

C: 843.816.7191

[tdemint@svn.com](mailto:tdemint@svn.com)



LOCATION MAP



**TOM DEMINT, CCIM**  
Partner  
C: 843.816.7191  
tdemint@svn.com

# for Rice Shire Woods

Phase 1

Lots 1-37

Usage (single family)

Town, South Carolina

Tax Map #: 062-00-10-074

Tammy Drive & Rice Shire Road

GIS coord: N32°30'52" W80°57'14"



## Schedule of Drawings

Sheet No.	Description
C001	Cover Sheet
C002	Construction Notes
C003	Sheet Index
C101-	Existing Conditions Plans
C201-	Initial Erosion Control Plans
C202	Initial Erosion Control Details
C301-	Clearing & Demolition Plans
C401-	Site Layout Plans
C501-	Grading Plans
C601-	Drainage Plans
C602	Drainage Plans Details
C700	Overall Utility Plan
C701-	Utility Plans
C702	Utility Details
C703	Utility Profiles
C801-	Intermediate Erosion Control Plans
C802	Intermediate Erosion Control Details
C901-	Paving Plans
C902	Paving Details
C903	Road Profiles
C1001-	Final Erosion Control Plans
C1002	Final Erosion Control Details
C1101	SCDOT Sight Distance Exhibits
C1102	SCDOT Details
C1201	ADA Accessible Route Plan

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## **Town of Ridgeland Architectural Review Application**

### **Supplemental Documentation**

The applicant would like to introduce the following changes to below regulation for The Rice Shire Woods Subdivision

#### **5.13.2.A**

Walls shall be finished in wood clapboard (sealed with paint or stain), board and batten, cedar shingles, “hardie plank,” stucco, or brick. Walls may be finished in brick as approved by the CRC. Walls for single family residential units may be finished in vinyl siding on a case by case basis as approved by the CRC. **We are requesting vinyl siding be approved. Vinyl siding is easier to maintain for the homeowner, is less likely to fade with time and is rot resistant.**

#### **5.13.3.B**

Siding shall be horizontal, maximum 6” to the weather. **This conflicts with the above “board and batten” allowance and would like clarification.**

#### **5.13.3.E**

Trim shall be a minimum grade “B” trim lumber; and shall be 3.5” to 6” in width at corners and around opening, except at the front door, which may be any size (3.5” minimum) or configuration. **We are requesting vinyl trim to match the vinyl siding. Vinyl trim is easier and less expensive to maintain, is resistant to rotting, and will look nicer in the long run.**

#### **5.13.3.H**

Walls shall be one color. **We are requesting that walls may be up to two colors, to match the allowance of two materials in 5.13.3.A. Only one color per material and change with an architectural feature.**

#### **5.13.5.F**

Columns (the classical orders), if provided, shall be of the Tuscan or Doric orders with correct proportions or profiles according to the American Vignola. **We are proposing the removal of this section as it conflicts with 5.13.5.G variance.**

**Staff has commented that our porches use “posts” and not “columns” and are therefore exempt**

#### 5.13.5.G

Posts shall be no less than 6" x 6", except at outbuildings. Railings shall have horizontal top and bottom rails. Wood top rails shall be eased and bottom rails shall have a vertical section. Top and bottom rails shall be centered on the pickets. The opening between spindles and balusters shall not exceed 4". We are requesting the allowance of 4" x 4" nominal posts. These posts are standard in new construction and are less expensive for the homeowner to maintain.

#### 5.13.6.A

Roofs shall be clad in ....asphalt or fiberglass shingles shall be architectural grade and shall be submitted for approval. We are seeking the use of 3 - Tab asphalt 25 year shingles which has a life span as long as many of the architectural grade shingles but is less expensive for the homeowner at replacement time.

#### 5.13.6.B

Gutters and downspouts, when used, shall be made of galvanized steel, copper (not copper-coated), anodized or ESP aluminum. We are seeking clarification on the "when used" and if they are mandatory.

Staff has commented that gutters are not mandatory

#### 5.13.8.B

Doors (including garage doors) shall be wood or metal. Doors shall be painted or stained. We are requesting the allowance of Fiberglass doors. Fiberglass doors are resistant to rot, denting, and will not fade with time.

#### 5.13.8.D

Shutters shall be wood, PVC, painted, operable and meet the width of the window when closed. We are requesting the allowance of non-operable shutters. Operable shutters are more likely to fail and become a maintenance cost with time. Failing shutters and shutters that have failed due to failing are less appealing for the neighborhood.

#### 5.13.9.A

Windows rectangular single-, double-, or triple-hung, awning, fixed (under 2 sf), or operable casement types, with a square to vertical proportion. Transoms may be oriented horizontally with panes of vertical proportions. Multiple windows in the same rough opening shall be separated by a 4" minimum post. In masonry walls the centerline of the window sash shall align with the centerline of the wall. We are requesting the allowance of twin windows; ie the removal of the 4" minimum post separating windows. Twin windows are a standard in today's construction and allow for more light to enter the home.



#### **5.13.9.B**

Windows muntins shall be true divided light or simulated divided light windows or fixed on the interior and exterior surface and create panels of square or vertical proportion. **We are requesting the allowance of grate between glass windows (GBG). Grate between glass offers simulated divided light while protecting the dividing feature from wear and maintenance.**

#### **5.13.9.D**

Storm windows and screens shall be integral with the window. Screens shall be made of brass, bronze, or black vinyl. **We are requesting the use of grey vinyl. Grey vinyl is a standard in modern construction and less likely to fade with time.**

#### **5.13.9.G**

Garage doors facing a street frontage shall be a maximum of 10' in width. Garage doors facing an alley shall have a light fixture with an incandescent bulb activated by a photocell. Garage doors shall be painted or stained. Storefronts shall be painted a dark gloss color. **We are requesting the allowance of 16' wide, standard 2 car garage doors. This is a standard in modern construction and follows with the previously approved layout.**

#### **5.13.9.H**

Shutters shall be operable, sized and shaped to match the openings. **We are requesting the allowance of non-operable shutters. Operable shutters are more likely to fail and become a maintenance cost with time. Failing shutters and shutters that have fallen due to failing are less appealing for the neighborhood.**



**OWN OF RIDG LAND**  
**RCHIT CTURAL REVIEW APPLICA ION**  
 Planning and Community Development  
 P.O. Box 1119, or 1 Town Square  
 Ridgeland, South Carolina 29936  
 Phone: 843-726-7500 FAX: 843-726-7525  
 www.ridgelandsc.gov

*The following architectural standards shall apply to all structures in the following transect zones: T2.5, T3, T4, T5, and SD-Exit 21.*

Code Section	Regulation	Official Use
<b>5.13.2 Walls—Materials.</b>		
5.13.2.A	Walls shall be finished in wood clapboard (sealed with paint or stain), board and batten, cedar shingles, "hardie plank," stucco, or brick. Walls may be finished in brick as approved by the CRC. Walls for single family residential units may be finished in vinyl siding on a case by case basis as approved by the CRC.	
5.13.2.B	Foundation walls, and piers shall be parged block, smooth finished poured concrete, tabby, stucco or brick.	
5.13.2.C	Crawl space may be skirted with horizontal wood boards, or framed wood with not more than 1.5" spaces between boards or wood louvers. Lattice shall be installed between supports as approved by the CRC. Galvanized hardware cloth may be placed behind the lattice.	
5.13.2.D	Garden walls shall be stucco or brick. Gates in garden walls shall be wood or iron. Garden walls shall not be perforated with precast elements, but may accommodate pierced brick	
5.13.2.E	Fences at frontages and in front yards shall be made of smooth cedar, or p.t. wood pickets; spacing between pickets shall not exceed 1.5". All other fences shall be made of wood boards with a rectangular section. Wood fences may have stucco, brick, or tabby piers. Wire fences are permitted as long as the posts are made of wood and the fence is planted with a growing vine i.e. jasmine, etc. Cyclone fences are not permitted	
5.13.2.F	Retaining walls shall be built of stucco, brick, or tabby	
<b>5.13.3 Walls—Configurations and Techniques.</b>		
5.13.3.A	Walls may be built of no more than two materials and shall only change material along a horizontal line, i.e. cedar shingles may be combined with wood siding when the material change occurs horizontally, (typical at floor line or a gable end), with the heavier material below the lighter. All the walls of a single building must be built of the same materials in the same configuration. Wood clapboard and shingles shall be horizontal.	
5.13.3.B	Siding shall be horizontal, maximum 6" to the weather.	
5.13.3.C	Boards with more than 6" to the weather shall show a 1" variation from one board to the next. Shingles shall be maximum 8" to the weather. Decorative shingles shall not be permitted.	
5.13.3.D	Stucco shall be smooth sand- or tabby-finished.	
5.13.3.E	Trim shall be minimum grade "B" trim lumber; and shall be 3.5" to 6" in width at corners and around opening, except at the front door, which may be any size (3.5" minimum) or configuration.	
5.13.3.F	Garden walls shall be minimum 8" thick and have a horizontal cap. Brick mortar joints shall be struck and no more than 3/8" wide.	
5.13.3.G	Fences on adjacent lots shall have different designs. Fences in front yards shall be as indicated in the code. Wood fences shall be painted white or Charleston green unless otherwise approved by the CRC.	
5.13.3.H	Walls shall be one color.	
5.13.3.I	Colors: Colors for all materials shall be selected from a master list approved by the CRC. Rough siding shall be a dark color. Masonry, smooth siding, and trim shall be a light color, which may or may not be the same as the wall color.	
5.13.3.J	Paints and stains: All exterior smooth wood shall be painted. Wood shingles may be left to age naturally, or shall be stained.	
<b>5.13.4 Elements—Materials.</b>		
5.13.4.A	Chimneys shall be finished with stucco or brick. Flues for pot belly stoves shall be metal with an appropriate lintel or jack arch.	
5.13.4.B	Piers and arches shall be made of stucco, brick, or tabby.	





**OWN OF RIDG LAND**  
**RCHIT CTURAL REVIEW APPLICA ION**  
 Planning and Community Development  
 P.O. Box 1119, or 1 Town Square  
 Ridgeland, South Carolina 29936  
 Phone: 843-726-7500 FAX: 843-726-7525  
[www.ridgelandsc.gov](http://www.ridgelandsc.gov)

5.13.4.C	Porches, columns, posts, spindles, and balusters shall be made of wood. Porches may be enclosed with glass or screens for a maximum of 30% of their length; however glass enclosures are not permitted at frontages. Porch ceilings may be enclosed with painted wood; exposed joists shall be painted.	
5.13.4.D	Arcades in Zone T4 or T5 shall be metal or stucco, with wood or metal posts, railings, and balconies.	
5.13.4.F	Stoops shall be made of wood, brick, or concrete. If concrete, a stoop shall have brick or stucco cheek walls.	
5.13.4.G	Decks shall be located in rear yards only, elevated a maximum of 30' above grade and painted or stained (except walking surfaces which may be unpainted).	
5.13.4.H	Awnings shall have a metal structure covered with canvas or synthetic canvas.	
5.13.4.I	Metal elements shall be unpainted galvanized steel, anodized or ESP aluminum, or marine grade aluminum	
5.13.4.J	Patios and stoops may have horizontal surfaces made of brick, or tabby.	
5.13.4.K	The following shall not be permitted: Panelized materials, keystones, quoins, window air conditioning units, above-ground pools (except those of the inflatable variety), antennas, solar panels, signs (on private property), direct vent fireplaces.	
<b>5.13.5 Elements—Configurations and Techniques.</b>		
5.13.5.A	Chimneys shall be a minimum 2:1 proportion in plan and capped to conceal spark arresters. Fireplace enclosures and chimneys shall extend to the ground.	
5.13.5.B	Porch piers of masonry construction shall be no less than 12' × 12".	
5.13.5.C	Arches of masonry construction shall be no less than 12" in depth.	
5.13.5.D	Arcades and breezeways shall have vertically proportioned openings.	
5.13.5.E	Screen porches shall have screens framed in wood installed behind framed railings.	
5.13.5.F	Columns (the classical orders), if provided, shall be of the Tuscan or Doric orders with correct proportions or profiles according the American Vignola.	
5.13.5.G	Posts shall be no less than 6" × 6", except at outbuildings. Railings shall have horizontal top and bottom rails. Wood top rails shall be eased and bottom rails shall have a vertical section. Top and bottom rails shall be centered on the pickets. The opening between spindles and balusters shall not exceed 4".	
5.13.5.H	Balconies which cantilever shall be structurally supported by brackets.	
5.13.5.I	Signs attached to buildings shall be integral to the storefront, no larger than 18" in height and externally lit.	
5.13.5.J	Awnings shall be rectangular in shape with straight edges. Awnings may have side panels but shall not have a bottom soffit panel. Awnings shall not be backlit.	
5.13.5.K	Spotlights attached to building walls or roof eaves are only permitted in rear yards and illuminating cone shall not emit excess or direct light beyond property line.	
5.13.5.L	Wood elements must be painted or stained with an opaque or semi-solid stain, except walking surfaces which may be left natural.	
<b>5.13.6 Roofs—Materials</b>		
5.13.6.A	Roofs shall be clad in wood shingles, (corrugated, 5 V crimp or standing seam) galvanized steel, galvalume or copper. Asphaltic or fiberglass shingles shall be architectural grade and shall be submitted for approval.	
5.13.6.B	Gutters and downspouts, when used, shall be made of galvanized steel, copper (not copper-coated), anodized or ESP aluminum.	
5.13.6.C	Flashing shall be copper, lead or anodized aluminum.	
5.13.6.D	Copper roofs, flashing, gutters, and downspouts shall be allowed to age naturally (not painted or sealed).	
5.13.6.E	Principal roofs shall be a symmetrical gable or hip with a slope of 6:12 to 10:12.	



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5.13.6.F	Ancillary roofs (attached to walls at the highest portion pf the principal building) may be shed sloped no less than 2:12. Roofs on towers shall be flat or have a slope of 4:12 to 8:12.	
5.13.6.G	Flat roofs, including flat roofs on towers, shall be permitted only when occupiable and accessible from an interior room. Flat roofs shall have a railing or parapet wall no less than 36" high.	
5.13.6.H	Parapets shall be horizontal.	
5.13.6.I	Eaves shall be continuous. Eaves which overhang less than 8" shall have a closed soffit. Eaves which overhang more than 16" shall have exposed rafters. Eaves which overhang between 8" and 16" shall have either a closed soffit or exposed rafters. Rafter tails may not exceed 8" in depth.	
5.13.6.J	Gutters shall be half-round. Downspouts shall be round.	
5.13.6.K	Dormers shall be habitable, placed a minimum of 3' from side building walls and have gable or shed roofs with a slope to match the principal structure or shed roofs with a slope 3:12. Dormers shall not be excessively larger than windows, i.e. no siding at either side of windows. Dormer eaves and rake trim should be scaled down from primary eaves and rake trim proportions (66%).	
5.13.6.L	Skylights shall be flat and mounted so as not to be visible from any fronting street.	
<b>5.13.8 Openings—Materials.</b>		
5.13.8.A	Windows shall be made of wood (painted), vinyl or aluminum clad and shall be glazed with clear glass. All trim shall be no less than 3.5". Bay windows shall be made of trim lumber. Corner trim shall be no less than 4".	
5.13.8.B	Doors (including garage doors) shall be wood or metal. Doors shall be painted or stained.	
5.13.8.C	Storefront shall be made of wood, or metal.	
5.13.8.D	Shutters shall be wood, PVC, painted, operable and meet the width of the window when closed.	
5.13.8.E	Security doors and window grilles must be approved.	
<b>5.13.9 Openings—Configurations and Techniques.</b>		
5.13.9.A	Windows rectangular single-, double-, or triple-hung, awning, fixed (under 2 sf), or operable casement types, with a square to vertical proportion. Transoms may be oriented horizontally with panes of vertical proportions. Multiple windows in the same rough opening shall be separated by a 4" minimum post. In masonry walls the centerline of the window sash shall align with the centerline of the wall.	
5.13.9.B	Window muntins shall be true divided light or simulated divided light windows or fixed on the interior and exterior surface and create panels of square or vertical proportion.	
5.13.9.C	Bay windows shall have a minimum of 3 sides and shall extend to the floor inside and to the ground outside, if located on the ground floor or, if not, be structurally supported by brackets.	
5.13.9.D	Storm windows and screens shall be integral with the window. Screens shall be made of brass, bronze, or black vinyl.	
5.13.9.E	Front doors, including the entry door to the porch on side yard houses, shall be located on the frontage line. (Paired doors are not permitted at frontages. Windows in doors must be rectangular and vertically-oriented.)	
5.13.9.F	Doors shall be hinged. Doors, except garage doors, shall be constructed of planks or raised panels not flush with applied trim which express the construction technique.	
5.13.9.G	Garage doors facing a street frontage shall be a maximum of 10' in width. Garage doors facing an alley shall have a light fixture with an incandescent bulb activated by a photocell. Garage doors shall be painted or stained. Storefronts shall be painted a dark gloss color.	
5.13.9.H	Shutters shall be operable, sized and shaped to match the openings.	
5.13.9.I	Stucco trim articulations shall be subject to approval by the CRC.	
5.13.9.J	An accent color, for items such as the front door and shutters, may be used subject to approval from the CRC	

*UPSTATE COLLECTION*

# The Spartanburg

3 BR/2 BA - 1,224 sq.ft.



FRONT ELEVATION "C"  
SCALE: N.T.S



FRONT ELEVATION "B"  
SCALE: N.T.S



FRONT ELEVATION "A"  
SCALE: N.T.S



*UPSTATE COLLECTION*

# The Spartanburg

3 BR/2 BA - 1,224 sq.ft.



FRONT ELEVATION "C" W/ OPT. 2-CAR GARAGE  
SCALE: N.T.S



FRONT ELEVATION "B" W/ OPT. 2-CAR GARAGE  
SCALE: N.T.S

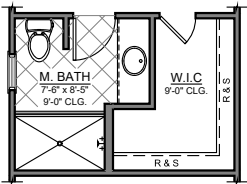


FRONT ELEVATION "A" W/ OPT. 2-CAR GARAGE  
SCALE: N.T.S

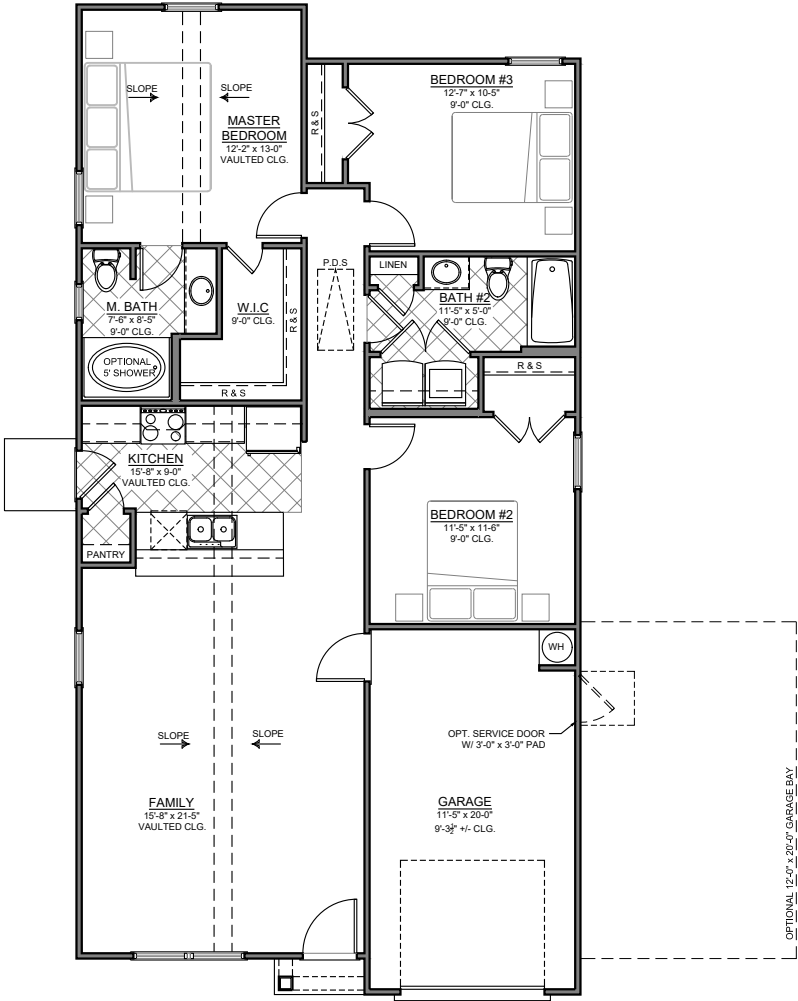
UPSTATE COLLECTION

# The Spartanburg

3 BR/2 BA - 1,224 sq.ft.



OPT. MASTER BATH  
SCALE: N.T.S



FIRST FLOOR PLAN  
SCALE: N.T.S

*UPSTATE COLLECTION*

# The Columbia

3 BR/2.5 BA - 1,399-1,543 sq.ft.



FRONT ELEVATION "C"  
SCALE: N.T.S



FRONT ELEVATION "B"  
SCALE: N.T.S



FRONT ELEVATION "A"  
SCALE: N.T.S



*UPSTATE COLLECTION*

# The Columbia

3 BR/2.5 BA - 1,399-1,543 sq.ft.



FRONT ELEVATION "C" W/ OPT. 2-CAR GARAGE  
SCALE: N.T.S



FRONT ELEVATION "B" W/ OPT. 2-CAR GARAGE  
SCALE: N.T.S

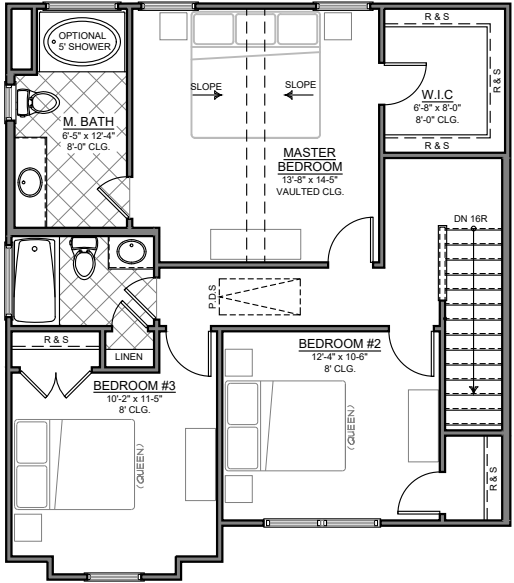
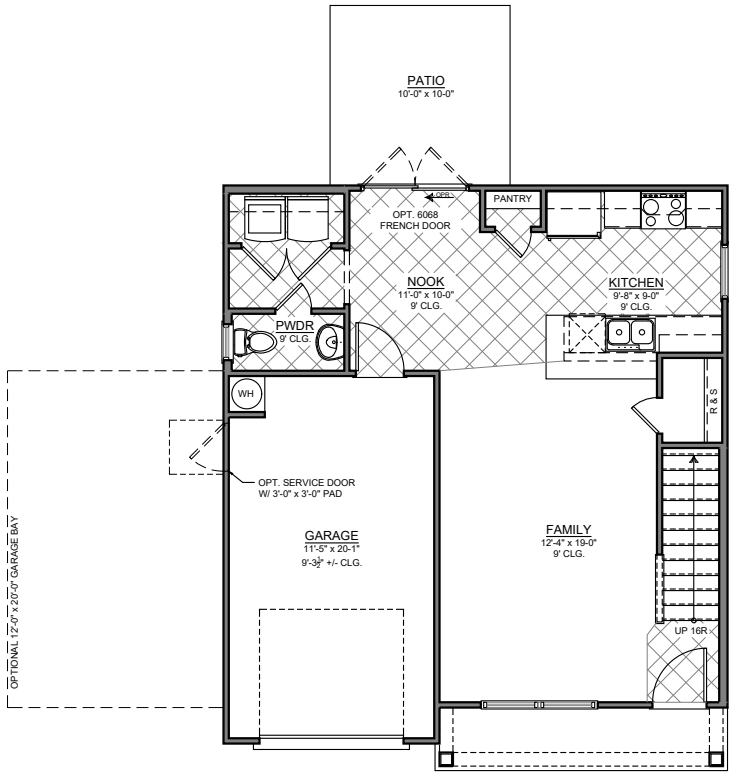
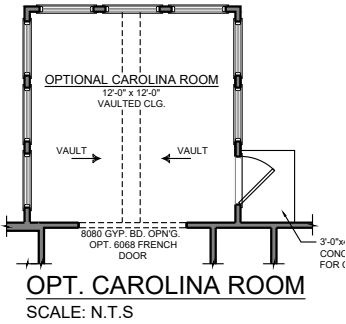
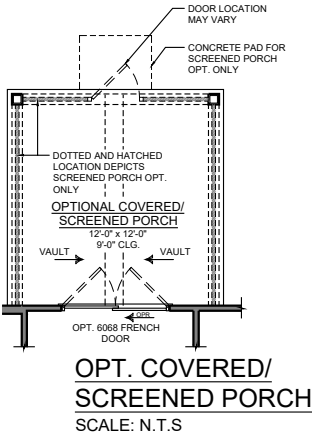


FRONT ELEVATION "A" W/ OPT. 2-CAR GARAGE  
SCALE: N.T.S

# UPSTATE COLLECTION

# The Columbia

3 BR/2.5 BA - 1,399-1,543 sq.ft.



*UPSTATE COLLECTION*

# The Florence

4 BR/2.5 BA - 1,648-1,792 sq.ft.



FRONT ELEVATION "C"  
SCALE: N.T.S



FRONT ELEVATION "B"  
SCALE: N.T.S



FRONT ELEVATION "A"  
SCALE: N.T.S



*UPSTATE COLLECTION*

# The Florence

4 BR/2.5 BA - 1,648-1,792 sq.ft.



FRONT ELEVATION "C" W/ OPT. 2-CAR GARAGE  
SCALE: N.T.S



FRONT ELEVATION "B" W/ OPT. 2-CAR GARAGE  
SCALE: N.T.S

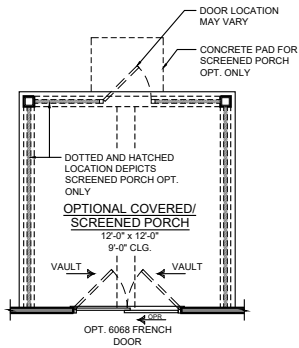


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SCALE: N.T.S

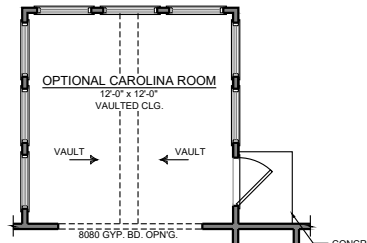
# UPSTATE COLLECTION

# The Florence

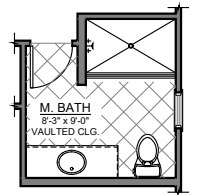
4 BR/2.5 BA - 1,648-1,792 sq.ft.



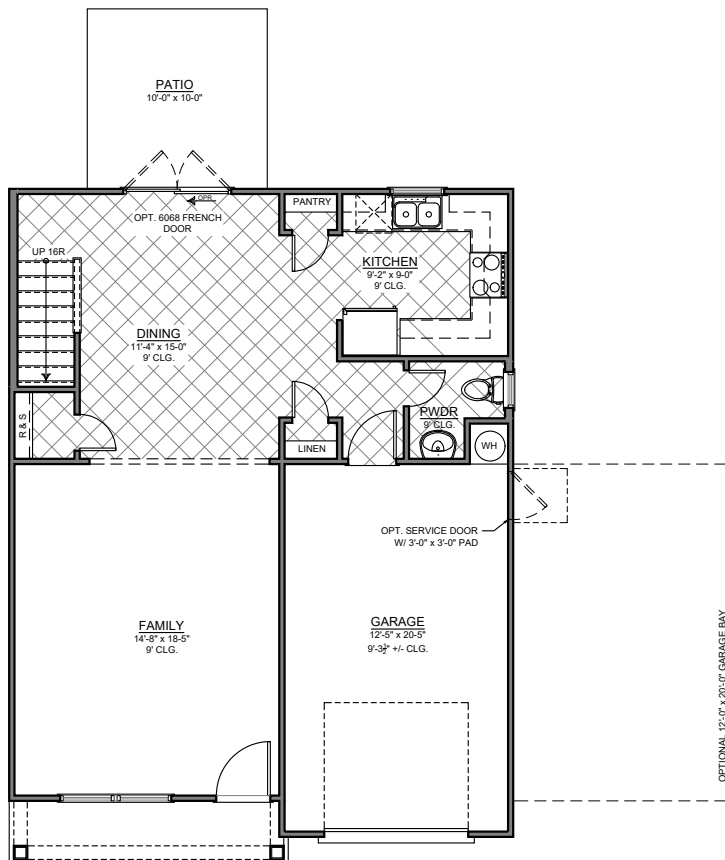
**OPT. COVERED/  
SCREENED PORCH**  
SCALE: N.T.S



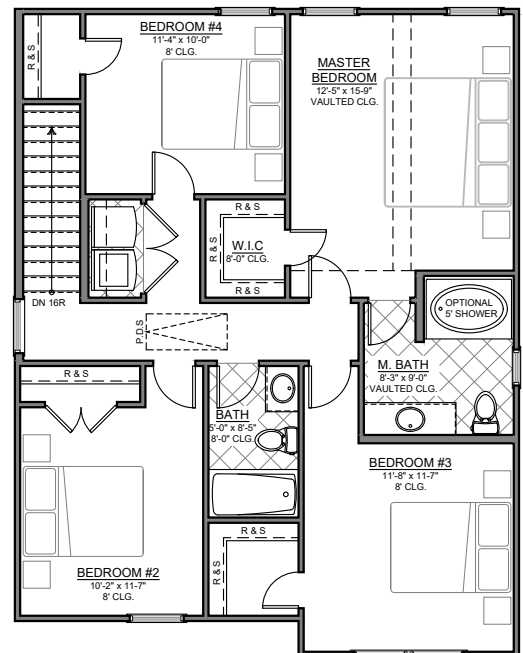
**OPT. CAROLINA ROOM**  
SCALE: N.T.S



**OPT. MASTER BATH**  
SCALE: N.T.S



**FIRST FLOOR PLAN**  
SCALE: N.T.S



**SECOND FLOOR PLAN**  
SCALE: N.T.S

*UPSTATE COLLECTION*

# The Greenville

3 BR/2.5 BA - 1,444-1,588 sq.ft.



FRONT ELEVATION "C"  
SCALE: N.T.S



FRONT ELEVATION "B"  
SCALE: N.T.S



FRONT ELEVATION "A"  
SCALE: N.T.S



*UPSTATE COLLECTION*

# The Greenville

3 BR/2.5 BA - 1,444-1,588 sq.ft.



FRONT ELEVATION "C" W/ OPT. 2-CAR GARAGE  
SCALE: N.T.S



FRONT ELEVATION "B" W/ OPT. 2-CAR GARAGE  
SCALE: N.T.S

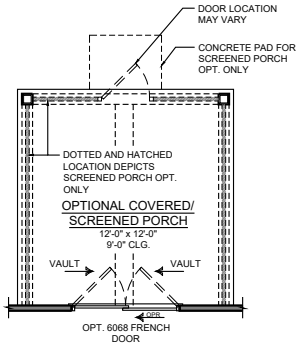


FRONT ELEVATION "A" W/ OPT. 2-CAR GARAGE  
SCALE: N.T.S

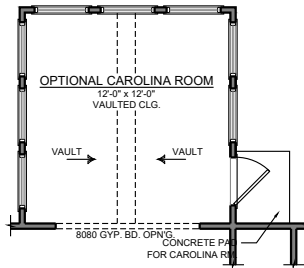
# UPSTATE COLLECTION

# The Greenville

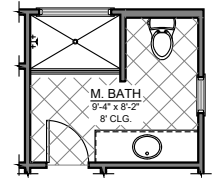
3 BR/2.5 BA - 1,444-1,588 sq.ft.



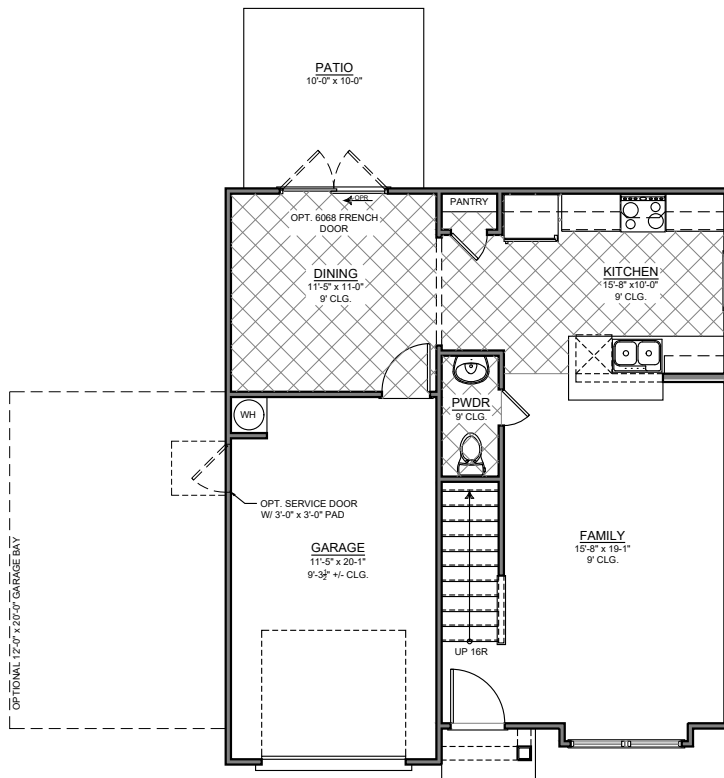
**OPT. COVERED/  
SCREENED PORCH**  
SCALE: N.T.S



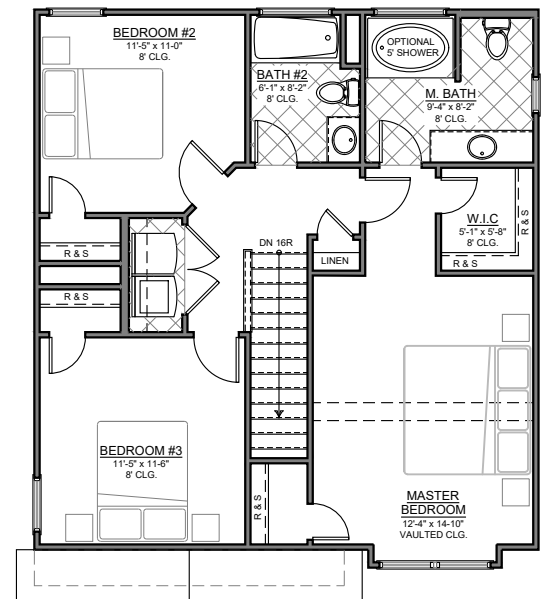
**OPT. CAROLINA ROOM**  
SCALE: N.T.S



**OPT. MASTER BATH**  
SCALE: N.T.S



**FIRST FLOOR PLAN**  
SCALE: N.T.S



**SECOND FLOOR PLAN**  
SCALE: N.T.S

*UPSTATE COLLECTION*

# The Laurens

2 BR/2 BA - 1,087 sq.ft.



FRONT ELEVATION "C"  
SCALE: N.T.S



FRONT ELEVATION "B"  
SCALE: N.T.S



FRONT ELEVATION "A"  
SCALE: N.T.S



*UPSTATE COLLECTION*

# The Laurens

2 BR/2 BA - 1,087 sq.ft.



FRONT ELEVATION "C" W/ OPT. 2-CAR GARAGE  
SCALE: N.T.S

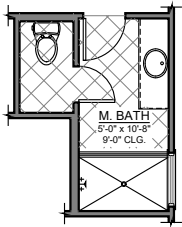
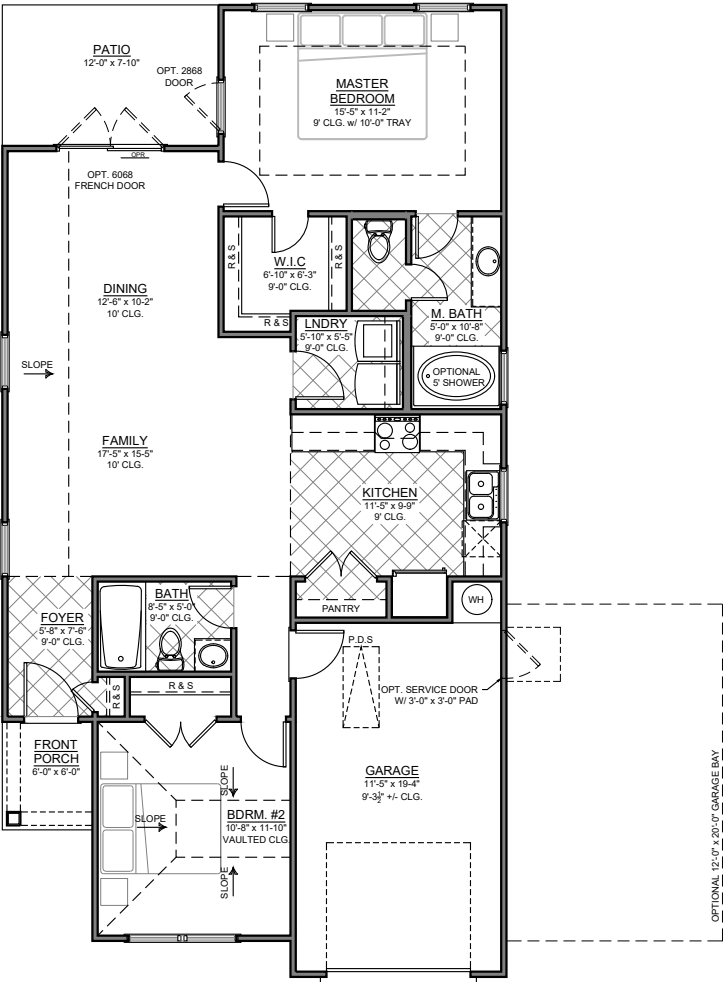


FRONT ELEVATION "B" W/ OPT. 2-CAR GARAGE  
SCALE: N.T.S

FRONT ELEVATION "A" W/ OPT. 2-CAR GARAGE  
SCALE: N.T.S

UPSTATE COLLECTION

The Laurens  
2 BR/2 BA - 1,087 sq.ft.



OPT. MASTER BATH  
SCALE: N.T.S

FIRST FLOOR PLAN  
SCALE: N.T.S

# Baltic

4 BR/3 BA - 1,483 sq.ft.



**FRONT ELEVATION "A"**  
SCALE: N.T.S

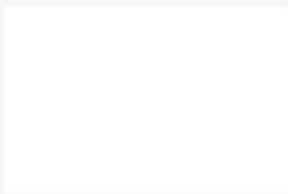
NOTE: Graphic hatching is only a design depiction of materials and or a change of materials. its does not specify or intend to specify specific materials and or finishes.

4 BR/3 BA - 1,483 sq.ft.



UPDATED: 06.06.2022





Glacier White



Antique Parchment



Natural Linen



Platinum Gray



Cape Cod Gray



Mystic Blue



Coastal Sage



Juniper Ridge



Adobe Cream



Maple



Monterey Sand



Canyon Clay



Vintage Wicker



Tuscan Clay

## Architectural Color Collection\*



Storm



Sterling Gray