

Town of Ridgeland

June 14, 2023

PROJECT: Town of Ridgeland Water and Sewer Resiliency Improvements

TOR-2023-02

ADDENDUM: Three (3)

DUE DATE: June 20, 2023 at 2:00 PM

THIS ADDENDUM IS FOR THE PURPOSE OF MAKING THE FOLLOWING CHANGES OR CLARIFICATIONS:

- 1. The following Project Contract Drawings have been updated and are reissued with Addendum 3 at the end of the document. Primary modifications include but are not limited to:
 - a. Part III: Well Site 2 Improvements
 - i. A10, A10.1 A10.7 Architectural improvements updates to correct dimensions of the existing building and to modify and increase the size of the proposed building expansion for the chemical room.
 - ii. S100, S101, and S201 Structural improvements updates to correct dimensions of the existing building and to modify and increase the size of the proposed building expansion for the chemical room.

2. Responses to Questions

A. Question: Are PS-3 and PS-4 also included in the wetwells receiving interior protective coating, currently in Plan Sheets C1.5 and C2.4, there is a note stating, "PRECAST CONCRETE WETWELL WITH INTERIOR PROTECTIVE COATING SYSTEM. SEE NOTE 9"?

Response: PS-3 and PS-4 will have new precast concrete wetwells. The wetwells, as per the callout referenced in the question and Note 9 on drawings C1.5 and C2.4, shall have an interior protective coating system installed. The specification section

- 02640 Sewer System Construction issued with Addendum 2 was modified to include coating requirements for wetwells.
- B. Question: There are no particular specifications regarding interior protective coatings for wetwells. Is the Owner/Engineer expecting the contractor to perform this work in accordance with Section 02960, subsection 2.1? If not, please provide further details, such as the approved product, required thickness, and final acceptance criteria.

Response: The specification section 02640 Sewer System Construction issued with Addendum 2 was modified to include coating requirements for wetwells.

3.	Ackr	owled	laem	ent:
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The Bidder shall include acknowledgement of the A this form and also acknowledge Addendum Three (3	` ,
Signature:	Date:

CIVIL AND ENVIRONMENTAL ENGINEERING

FOUR WATER ENGINEERING

324 6TH AVE JACKSONVILLE BEACH, FLORIDA 32250

CONTACT: ANGELA BRYAN, PE, LEED AP PHONE: 844-414-2400 EMAIL: abryan@4weng.com

ARCHITECT

WOODS DENDY ARCHITECTS, LLC

893 GRAYS HIGHWAY RIDGELAND, SC 29936

EMAIL:

CONTACT: GRADY L. WOODS, AIA, NCARB PHONE: 843 726 6730

thenry@woodsdendy.com

STRUCTURAL

SOUTHERN CONSULTING AND ENGINEERING, INC 105 CENTRAL AVE 100A GOOSE CREEK, SC

CONTACT: TONY AUSTIN, PE PHONE: 843-718 - 2525

- 1. ARCHITECT IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THESE CONSTRUCTION DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE. THE ABOVE NAMED COMPANY AND ARCHITECT OF RECORD ARE NOT LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE.
- 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. ALL WORK REQUIRING MEASURING SHALL BE DONE ACCORDING TO FIGURES ON DRAWINGS AND NOT SCALED FROM DRAWINGS. THE ARCHITECT SHALL FURNISH ANY MISSING DIMENSIONS UPON REQUEST.
- 3. ALL WORK SHALL CONFORM TO PREVAILING CODES, ORDINANCES AND REQUIREMENTS, CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION AND SHALL PAY ALL APPLICABLE FEES.
- 4. EXISTING CONDITIONS AND ACTUAL FIELD CONDITIONS MAY VARY FROM INDICATIONS ON DRAWINGS. ALL NEW WORK RELATED TO OR AFFECTED BY EXISTING CONDITIONS SHALL BE MODIFIED TO ACHIEVE THE INTENT OF THE DRAWINGS (COORDINATE WITH ARCHITECT AND OWNER), THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE OWNER AND THE ARCHITECT BEFORE PROCEEDING WITH DIRECTLY AFFECTED DEMOLITION OR CONSTRUCTION.
- 5. THE CONTRACTOR SHALL SURVEY PROJECT SITE BEFORE BEGINNING ANY WORK TO VERIFY EXISTING CONDITIONS, REPORT ANY DISCREPANCIES TO OWNER AND ARCHITECT BEFORE BEGINNING WORK.
- 6. PRIOR TO ANY NEW WORK, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT OF ANY UNFORESEEN EXISTING CONDITIONS IN NEED OF REPAIR OR WHICH MAY CAUSE DAMAGE TO THE NEW WORK. THE CONTRACTOR SHALL NOTIFY AND ALLOW SUFFICIENT TIME FOR THE OWNER AND ARCHITECT TO INSPECT THE CONDITION OF THE EXPOSED WORK PRIOR TO INSTALLING NEW CONSTRUCTION.
- 7. INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
- 8. ALL ITEMS ON PLANS, ELEVATIONS AND DETAILS FOR NEW CONSTRUCTION SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- 9. ALL CONSTRUCTION SHALL COMPLY WITH IBC SECTION 1612 AS IT RELATED TO FLOOD LOADS AND MATERIALS. WALL AND CEILINGS SHALL BE 5/8" TYPE X GYPSUM BOARD.
- EXTERIOR PAINT COLORS TO MATCH EXISTING. PRIMER AND TWO COATS OF EXTERIOR LATEX PAINT.



CODE REFERENCES

CODE ENFORCEMENT JURISDICTION:	TOWN ON RIDGELAND
INTERNATIONAL BUILDING CODE (IBC): INTERNATIONAL MECHANICAL CODE: INTERNATIONAL PLUMBING CODE: INTERNATIONAL FUEL GAS CODE: INTERNATIONAL FIRE CODE: INTERNATIONAL ENERGY CODE: THE NATIONAL ELECTRICAL CODE: ICC/ANSI A117.1: ASCE 7 -10 ASCE 24 CLIMATE ZONE	2021 2021 2021 2021 2021 2009 2020 2017
ALL ELEVATIONS SHOWN ARE:	NAVD 88

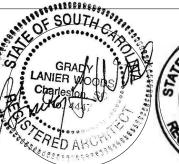
Sheet Number	Sheet Name		
A10	COVER SHEET		
A10.1	SITE PLAN		
A10.2	EXISTING AND PROPOSED FLOOR PLANS		
A10.3	ROOF FRAMING PLAN		
A10.4	ROOF PLAN		
A10.5	ELEVATIONS AND PERSPECTIVES		
A10.6	BUILDING SECTION		
A10.7	EXISTING BUILDING PHOTOS		
S100	STRUCTURAL NOTES		
S101	ROOF FRAMING AND FOUNDATION		
S201	SECTION AND DETAILS		



Woods Dendy Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS

893 GRAYS HIGHWAY RIDGELAND, SC 299336 PHONE: 843-726-6730



WOODS DENDY ARCHITECTS, LLC ARF101634

EWER RESILENCY IMPROVEMENT

S

PROJECT NO.

DATE: 19 MAY 22

SECOND AVE AND

DRAWN BY: TH CHECKED BY: GW

REVISION SCHEDULE
REV. NO. REV. DATE

1 12 MAY 23 GENERAL REVISIONS
2 BUILDING EXP 8 JUNE 23

Project Status

COVER SHEET

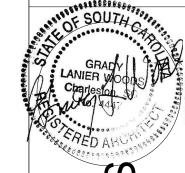
A10





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IMPROVEMENTS RESILENCY SEWER

PROJECT NO.

DRAWN BY: Author

21025 CHECKED BY: Checker

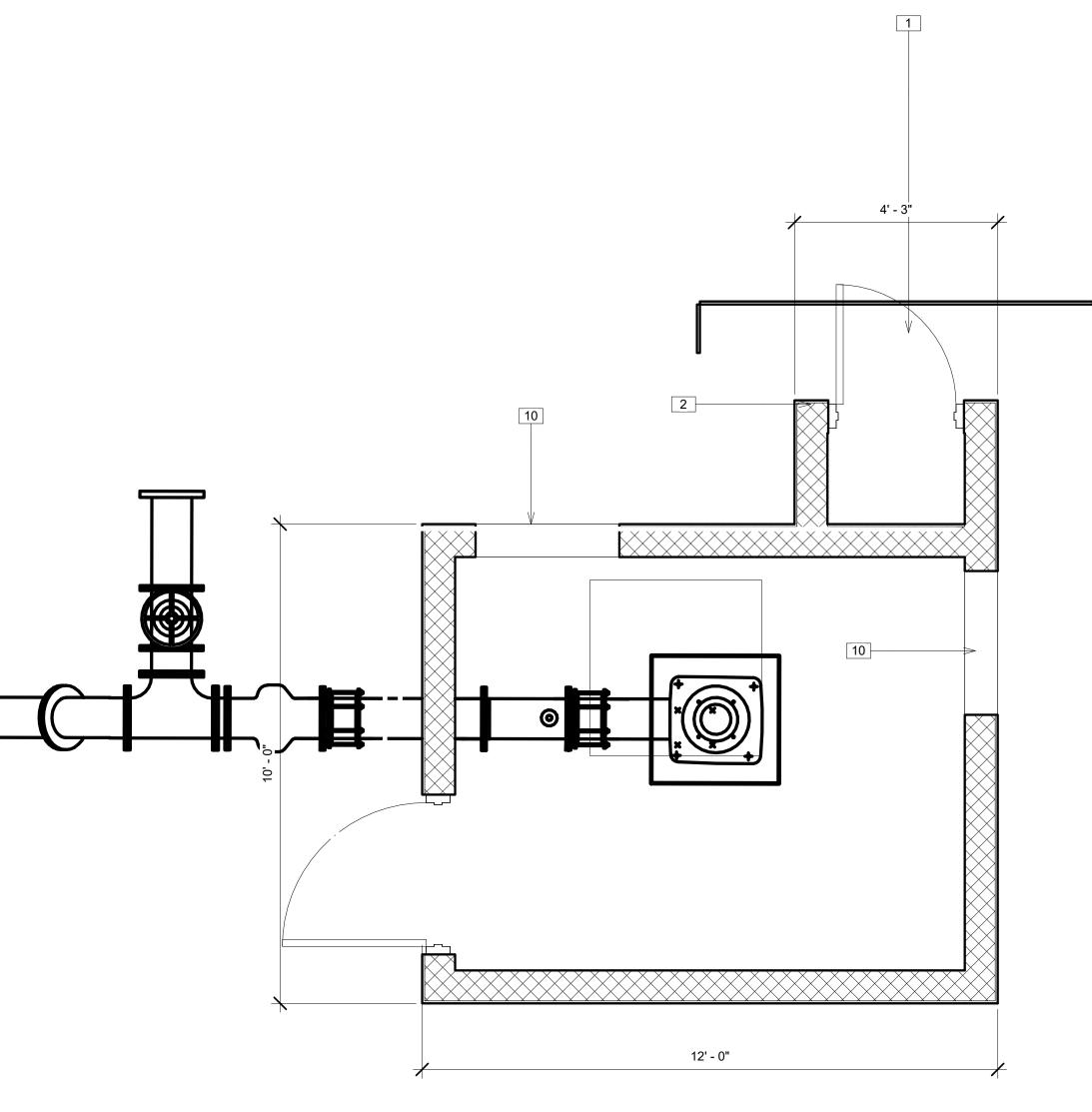
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12 MAY 23 GENERAL REVISIONS BUILDING EXP 8 JUNE 23

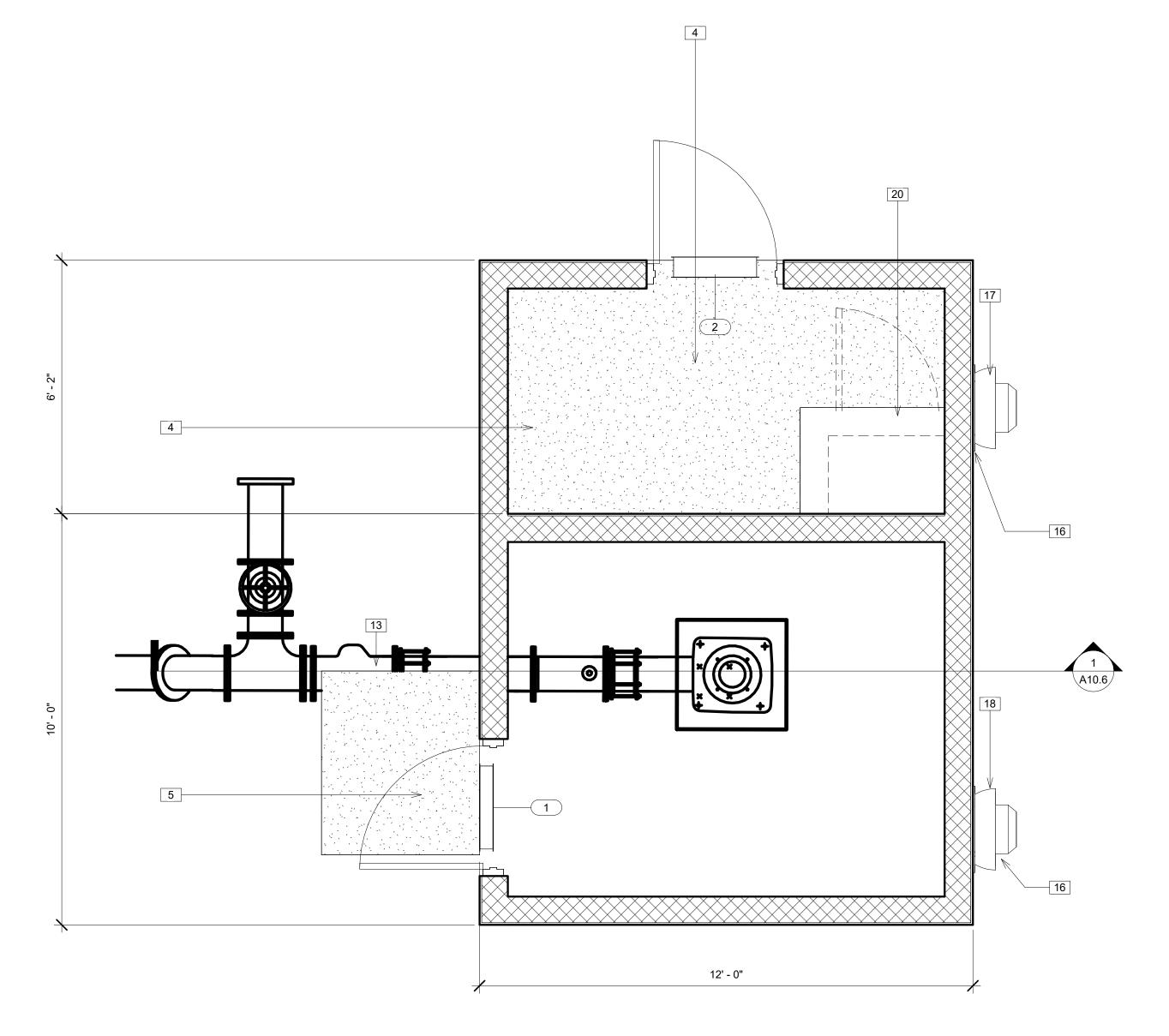
Project Status

DATE: 19 MAY 22

SITE PLAN



EXISTING LEVEL 1 PLAN



PROPOSED LEVEL 1 PLAN

	Keynote Legend	
Key Value	Keynote Text	
1	REMOVE EXISTING DOOR, CLOSE OPENING AND MATCH EXISTING FINISHES	
2 REMOVE CMU WALL, TIE BEAM AND PATCH FLOOR TO MATCH EXISTING		
NEW 4" CONCRETE SLAB SEE STRUCTURAL		
5 REPLACE DOORS. SEE DOOR SCHEDULE		
9 NEW DOOR. 3-0 / 7-0 HOLLOW METAL FRAME WITH GLASS LIGHT		
10 REMOVE WINDOW AND FILL IN WITH CMU TO MATCH EXISTING		
13 EXISTING STOOP		
14 5/8" STUCCO EXTERIOR SAND FLOAT FINISH		
16 PROVIDE SHOP DRAWINGS DEPICTING FLASHING DETAIL FOR FANS TO OBTAIN WEATHER TIGHTNESS		
17 DOOR LOUVER SHALL BE SIZE FOR 600 CFM INTAKE SEE MECHANICAL		
18	DOOR LOUVER SHALL BE SIZE FOR 1200 CFM INTAKE SEE MECHANICAL	
20	REMOVE EXISTING DOOR, WALLS AND SLAB.	



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SEWER

WATER

PROJECT NO.

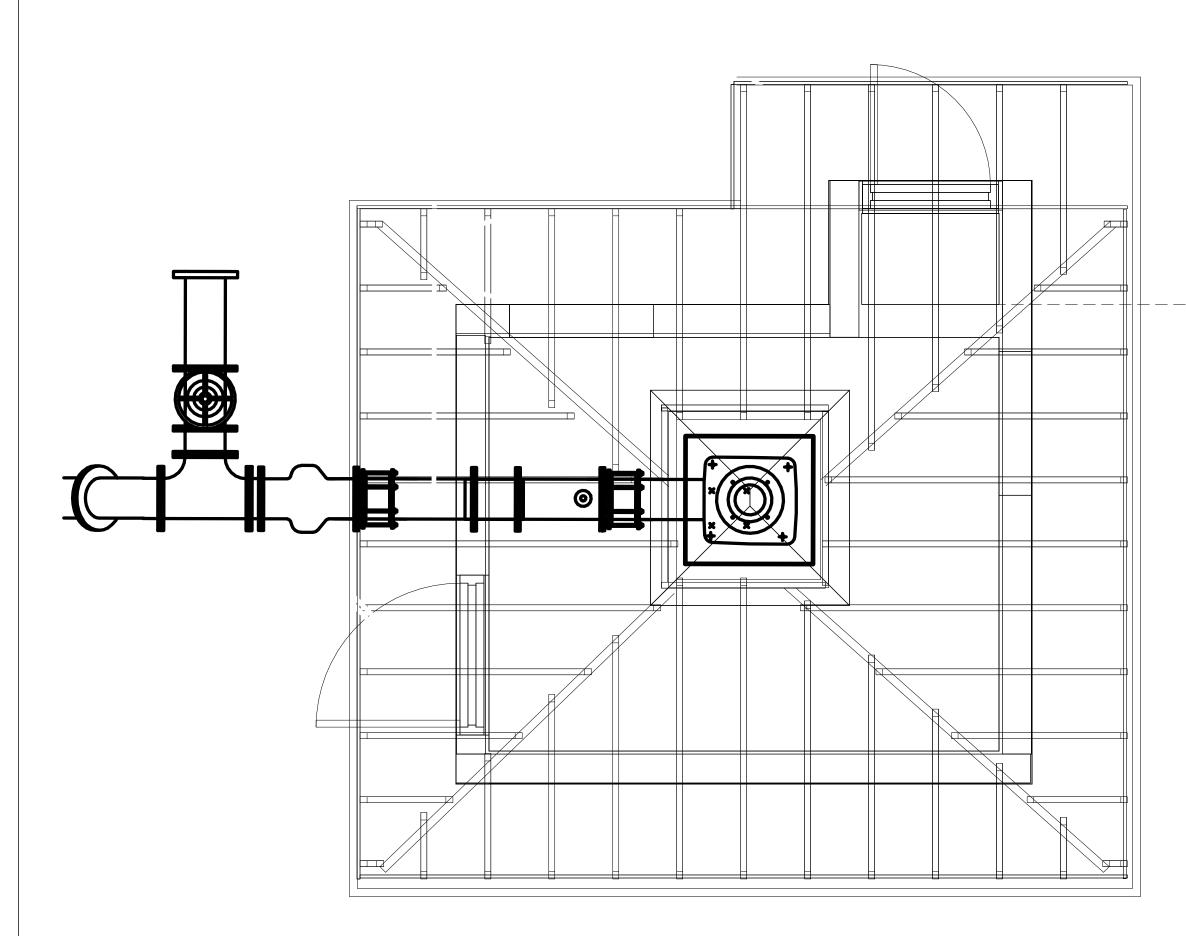
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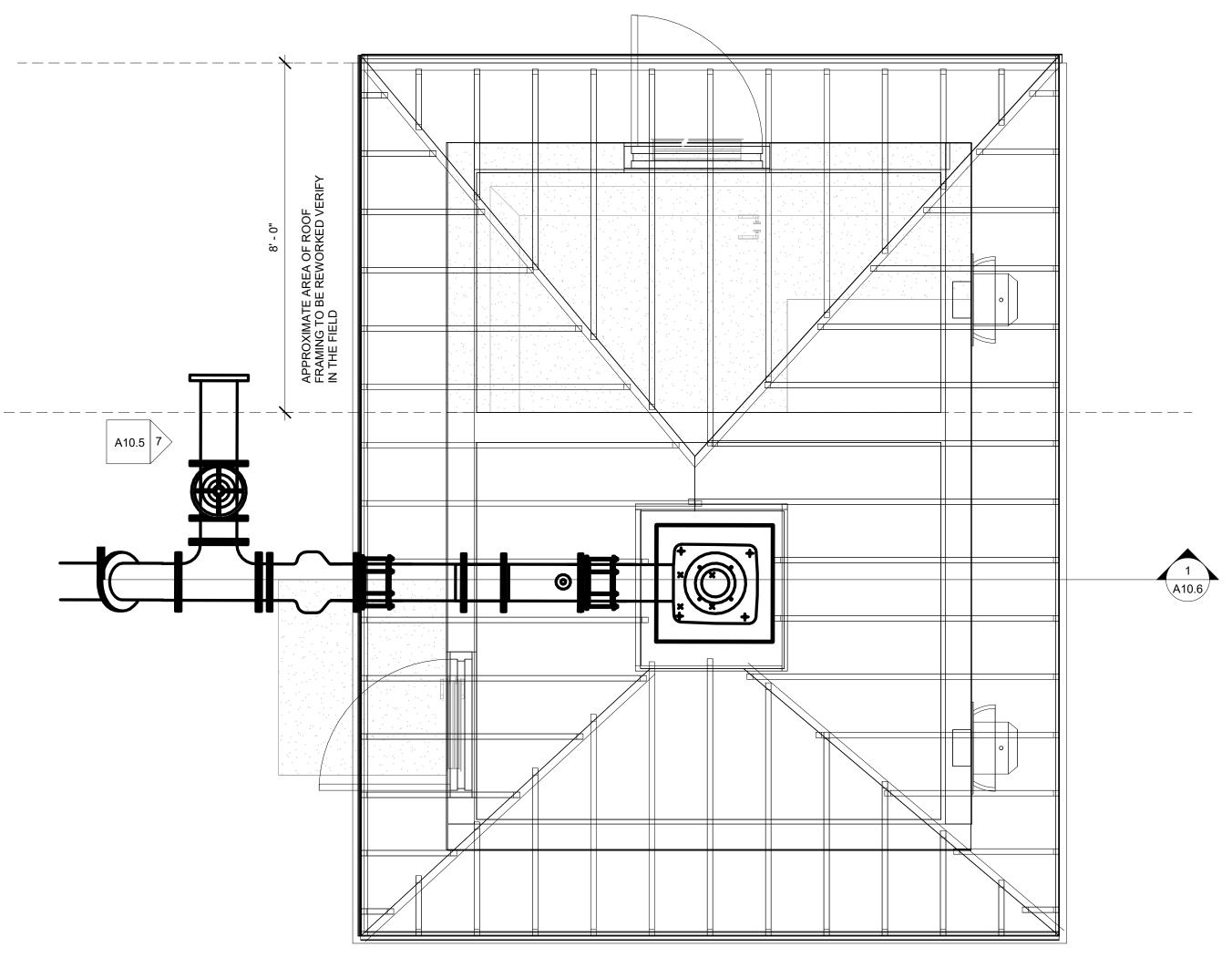
REV. DATE 12 MAY 23 GENERAL REVISIONS BUILDING EXP 8 JUNE 23

Project Status DATE: 19 MAY 22

EXISTING AND PROPOSED FLOOR PLANS



EXISTING FRAMING LAYOUT



PROPOSED ROOF FRAMING

NOTE:

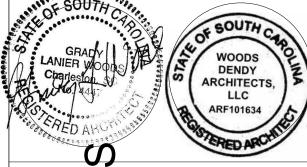
SEE STRUCTURAL DRAWINGS FOR FOUNDATION AND FRAMING DETAILS. PROVIDE SHOP DRAWING FOR APPROVAL. VERIFY IN FIELD EXISTING FRAMING.

Keynote Legend		
Key Value Keynote Text		
1	REMOVE EXISTING DOOR, CLOSE OPENING AND MATCH EXISTING FINISHES	
2	REMOVE CMU WALL, TIE BEAM AND PATCH FLOOR TO MATCH EXISTING	
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20	REMOVE EXISTING DOOR, WALLS AND SLAB.	



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ESILENCY IMPROVEMENTS

PROJECT NO.

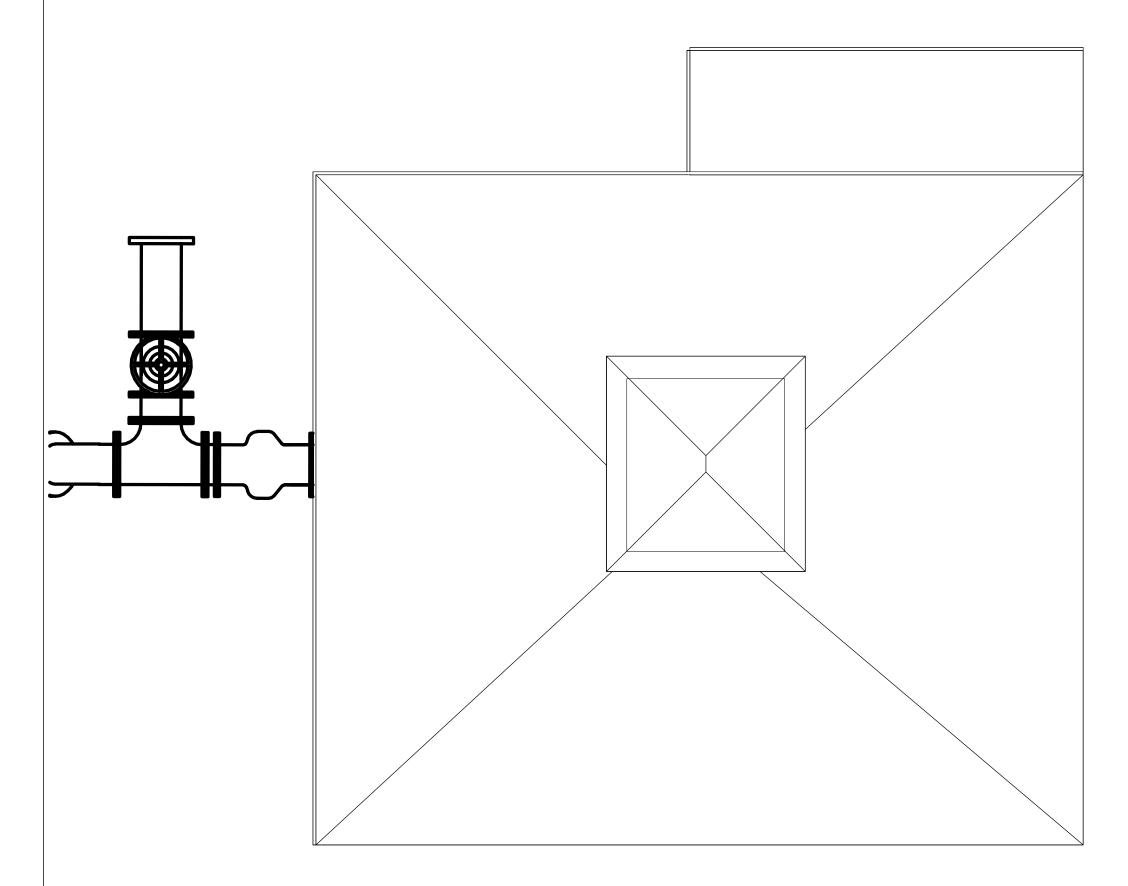
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REVISION SCHEDULE

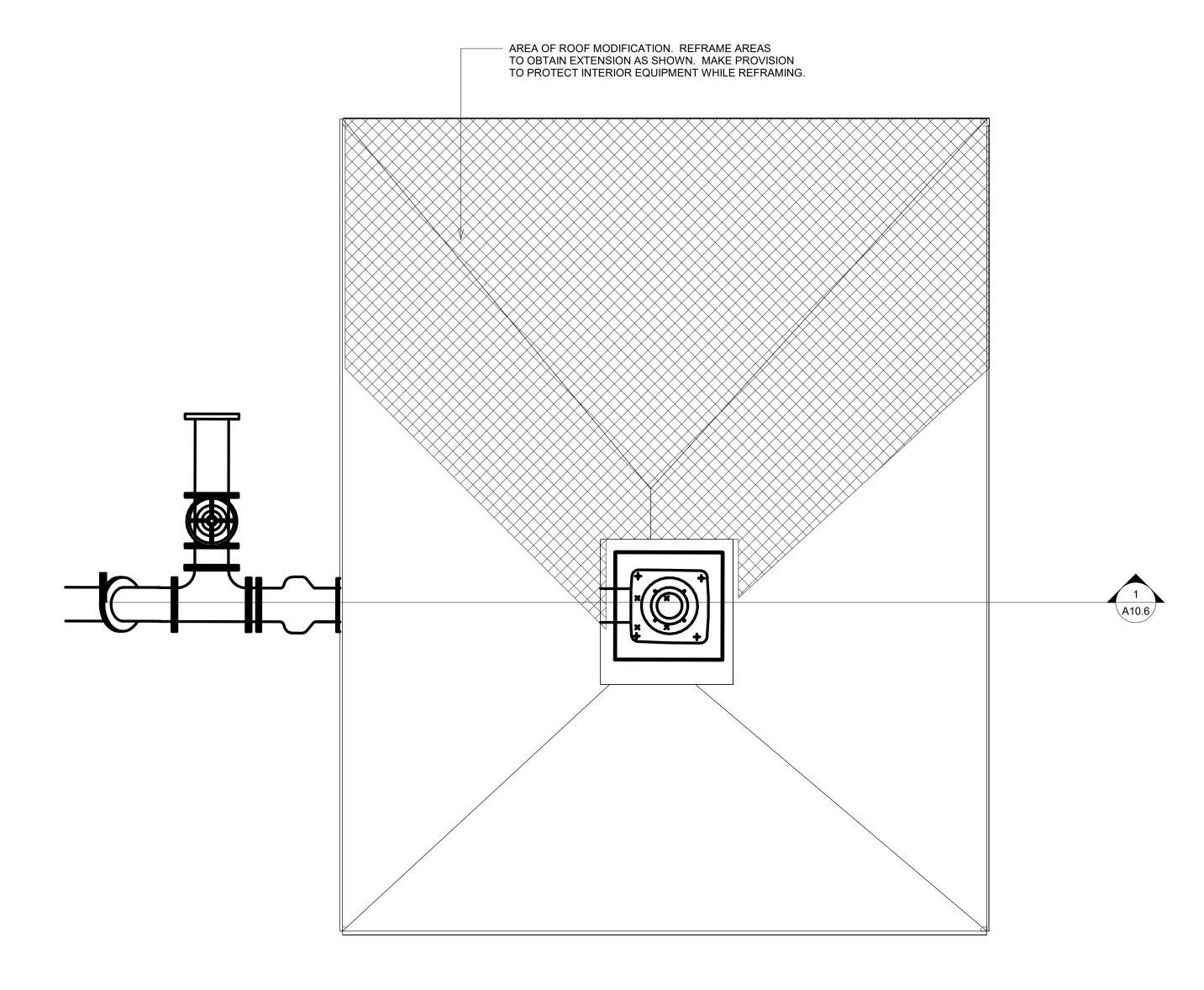
REV. DATE 12 MAY 23 GENERAL REVISIONS _BUILDING EXP 8 JUNE 23_

ROOF FRAMING PLAN

ARCHITECTS, LLC, AND ARE NOT TO BE USED FOR MAKING ANY REPRODUCTION OR FOR THE CONSTRUCTION OF ANY BUILDING WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FROM THE COPY-RIGHT OWNER, WOODS DENDY ARCHITECTS, LLC.



EXISTING ROOF



PROPOSED ROOF

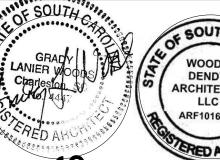
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2	REMOVE CMU WALL, TIE BEAM AND PATCH FLOOR TO MATCH EXISTING	
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PROJECT NO.

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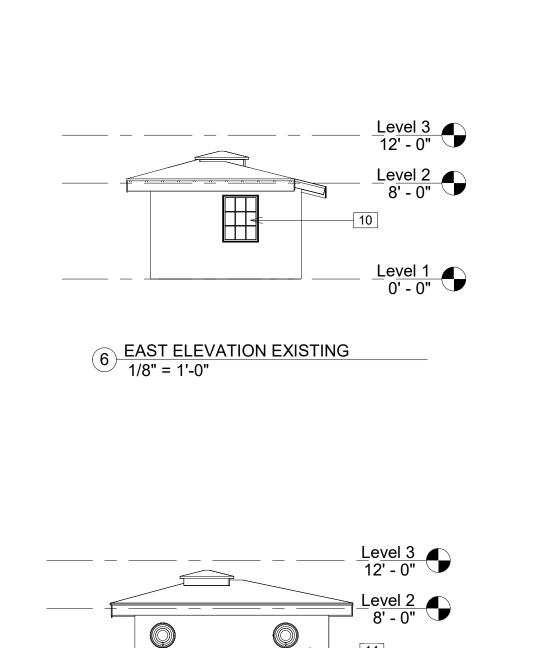
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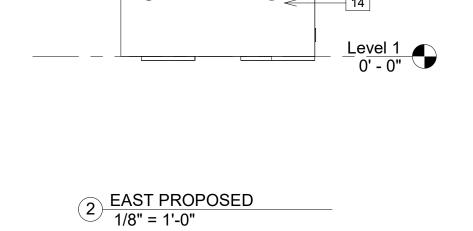
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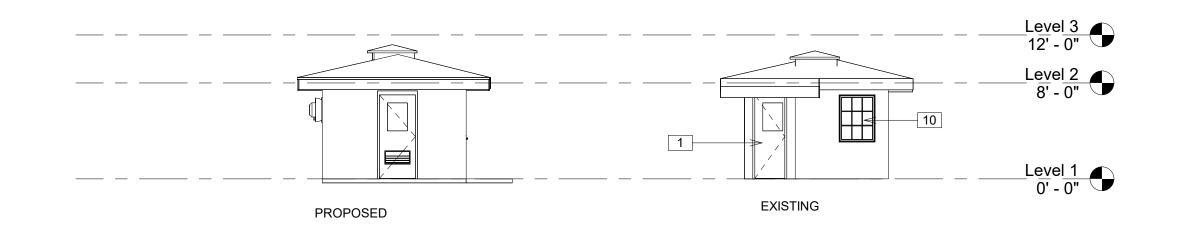
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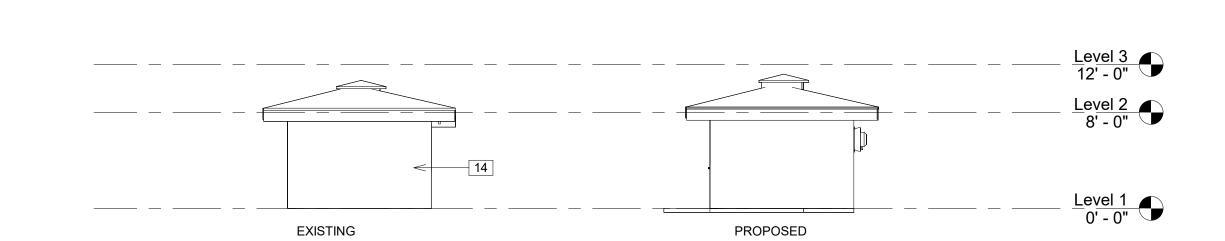
Project Status DATE: 19 MAY 22

ROOF PLAN



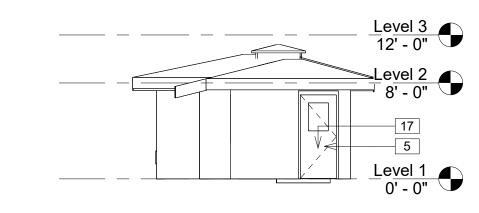




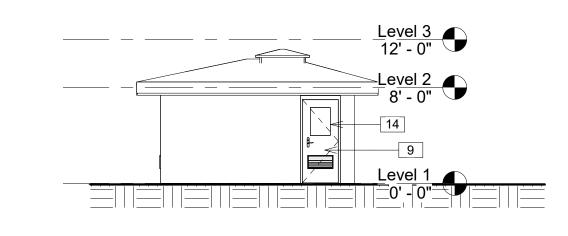




3 NORTH EXISTING AND PROPOSED
1/8" = 1'-0"

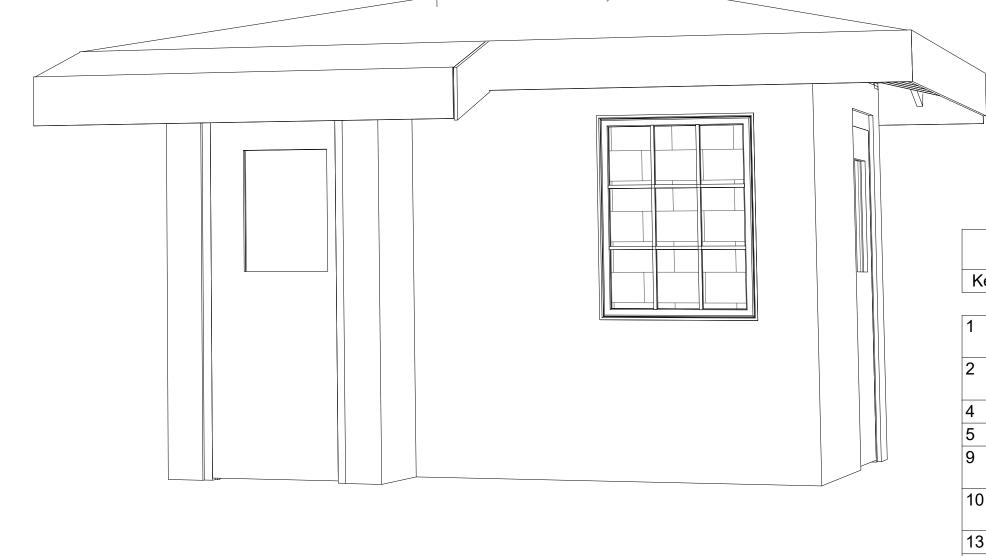






7 WEST ELEVATION PROPOSED
1/8" = 1'-0"





Keynote Legend Key Value Keynote Text REMOVE EXISTING DOOR, CLOSE OPENING AND MATCH EXISTING FINISHES REMOVE CMU WALL, TIE BEAM AND PATCH FLOOR TO MATCH EXISTING NEW 4" CONCRETE SLAB.. SEE STRUCTURAL REPLACE DOORS. SEE DOOR SCHEDULE NEW DOOR. 3-0 / 7-0 HOLLOW METAL FRAME WITH **GLASS LIGHT** REMOVE WINDOW AND FILL IN WITH CMU TO MATCH EXISTING **EXISTING STOOP** 5/8" STUCCO EXTERIOR SAND FLOAT FINISH PROVIDE SHOP DRAWINGS DEPICTING FLASHING DETAIL FOR FANS TO OBTAIN WEATHER TIGHTNESS DOOR LOUVER SHALL BE SIZE FOR 600 CFM INTAKE SEE MECHANICAL DOOR LOUVER SHALL BE SIZE FOR 1200 CFM INTAKE SEE MECHANICAL REMOVE EXISTING DOOR, WALLS AND SLAB.

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ESILENCY IMPROVEMENTS

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REVISION SCHEDULE REV. DATE 12 MAY 23 GENERAL REVISIONS BUILDING EXP 8 JUNE 23

PROJECT NO.

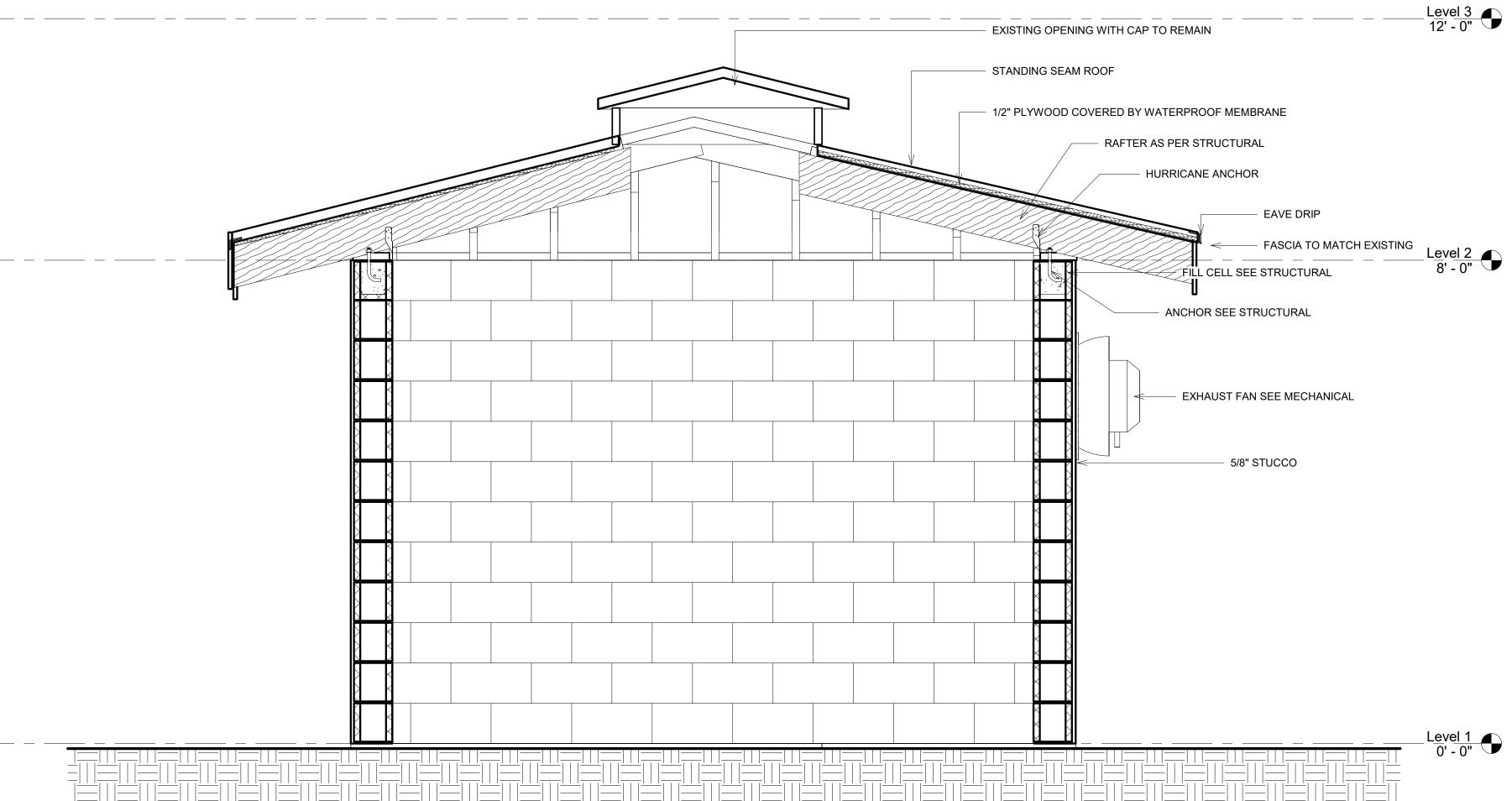
Project Status DATE: 19 MAY 22

> **ELEVATIONS AND** PERSPECTIVES

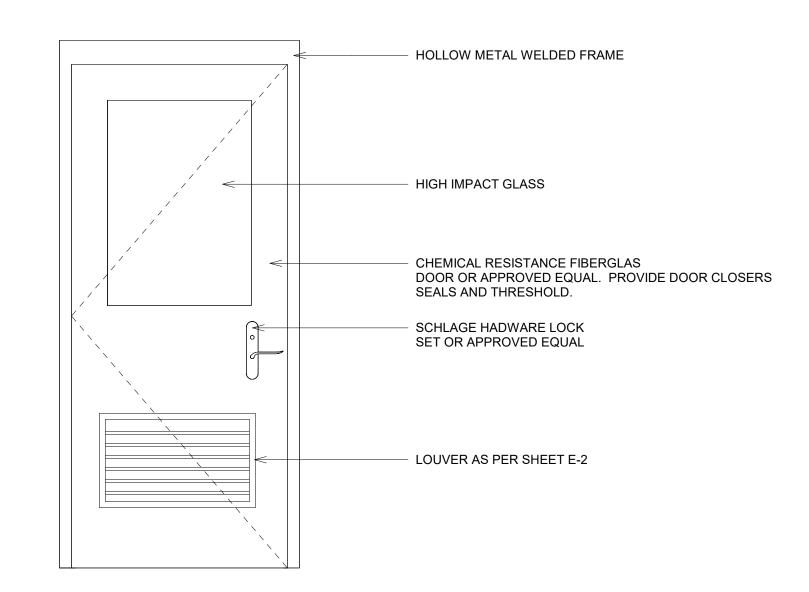
THESE DRAWINGS ARE THE PROPERTY OF WOODS DENDY ARCHITECTS, LLC, AND ARE NOT TO BE USED FOR MAKING ANY REPRODUCTION OR FOR THE CONSTRUCTION OF ANY BUILDING WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FROM THE COPY-RIGHT OWNER, WOODS DENDY ARCHITECTS, LLC.

PROPOSED

EXISTING



1 Section 1 3/4" = 1'-0"





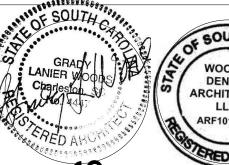
		Door Sch	edule
Mark	Width	Height	Comments
1	3' - 0"	7' - 0"	
2	3' - 0"	7' - 0"	



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IMPROVEMENT SILENCY SEWER WATER

PROJECT NO.

21025

SBE

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REV. DATE 12 MAY 23 GENERAL REVISIONS BUILDING EXP 8 JUNE 23

Project Status DATE: 19 MAY 22

BUILDING SECTION





EXISTING LOOKING EAST



EXISTING LOOKING EAST



EXISTING LOOKING NORTH



EXISTING LOOKING SOUTH



EXISTING LOOKING WEST



EXISTING INTERIOR LOOKING NORTH





INTERIOR LOOKING EAST





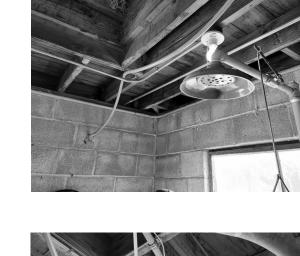
SCALES LOOKING SOUTH



EXISTING ROOF ACCESS FRAMING

ROOF FRAMING TYPICAL









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IMPROVEMENT ESILENCY SEWER

PROJECT NO.

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12 MAY 23 GENERAL REVISIONS

Project Status

DATE: 19 MAY 22

EXISTING BUILDING PHOTOS

ABBREVIATION LEGEND

DIA

— DIAMETER

TOP OR TOP OF FTG – FOOTING – STEP FOOTING (LOCATION) CONCRETE CONC WWM — WELDED WIRE MESH – CONCRETE MASONRY UNIT (CONCRETE BLOCK) WCJ — MASONRY / CONCRETE WALL CONTROL JOINT STL STRUCTURAL STEEL OR STEEL O.C. ON CENTER (SPACING) PSI POUNDS PER SQUARE INCH (STRENGTH) TYP – TYPICAL – READ AS 'BY' CLR CLEAR SQ SQUARE DEG – DEGREE OR DEGREES E.W. – EACH WAY UNO UNLESS NOTED OTHERWISE TD - TREATED, PRESSURE TREATED PER AWPA SPECS, GROUND CONTACT WITHIN 1000 YRS FOR WATER, MARINE EXPOSURE. CONT – CONTINUOUS _ WITH W/ W/OUT _ WITH OUT A. BOLTS - ANCHOR BOLTS OR BOLT READ AS 'AT' – PLATE REINF REINFORCING SHEATHING, GENERALLY PLYWOOD SHTHG

GEOTECHNICAL REPORTS: IF A SPECIFIC REPORT IS NOT ADDRESSED HEREIN THE PLANS HAVE BEEN DESIGNED BASED ON ASSUMPTIONS. IT IS THE SOLE RESPONSIBILITY OF THE OWNER TO RETAIN A QUALIFIED GEOTECHNICAL ENGINEER WHO SHALL PERFORM INVESTIGATIONS TO INSURE THAT THE SOIL CONDITIONS ARE AT LEAST THAT WHICH ARE REQUIRED HEREIN.

ANY AND ALL FILL SHALL BE ENGINEERED FILL AND PLACED IN STRICT ADHERENCE WITH THE PROJECT GEOTECHNICAL ENGINEERS REQUIREMENTS. FILL CAN AND WILL INDUCE SETTLEMENTS. PLACING FILL WITHOUT THE DIRECTION OF A GEOTECHNICAL ENGINEER IS PROHIBITED. FILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 8 INCHES, LOOSE MEASURE. EACH LIFT SHALL BE COMPACTED TO WITHIN 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY PRIOR TO PROCEEDING WITH THE NEXT LIFT.

ALL SLABS ON GRADE, UNLESS NOTED OR REQUIRED OTHERWISE BY THE PROJECT GEOTECHNICAL ENGINEER, SHALL BE PLACED ON COMPACTED FILL OR SUBGRADE. ALL SLABS SHALL BE PLACED OVER MIN 15 MIL VAPOR BARRIER (VB). VB SHALL BE INSTALLED IN A SMOOTH CONDITION, LAP ENDS NOT LESS THAN 12 INCHES. REPAIR ANY AND ALL PUNCTURES PRIOR TO CONC. PLACEMENT.

THE GENERAL CONTRACTOR SHALL RETAIN THE SERVICES OF A QUALIFIED SURVEYOR WHO SHALL VERIFY ALL SITE AND BUILDING ELEVATIONS. THE GENERAL CONTRACTOR SHALL INSURE THAT THE LOWEST HORIZONTAL STRUCTURAL MEMBER IS ABOVE ANY AND ALL FEDERAL. STATE AND LOCAL REQUIREMENTS FOR CLEARANCE AND FLOOD ZONE RELATED ISSUES. SEE ARCH'L DRAWINGS FOR ISSUES RELATED TO HYDROSTATIC VENTING, OPEN SIZES AND LOCATIONS. WHERE NOT SHOWN IN ARCH'L DRWGS ALLOW FOR THE MOST STRINGENT AND COSTLY APPROACH IN BASE BID AND AWAIT FURTHER DIRECTION FROM ARCHITECT.

SEE THE ARCHITECTURAL DRAWINGS FOR ANY AND ALL DIMENSIONS AND CONDITIONS NOT NOTED HEREIN. WHERE DIMENSIONAL DIFFERENCES ARE FOUND, THE ARCHITECTURAL DRAWINGS SHALL GOVERN. THE CONTRACTOR SHALL COORDINATE ALL TOP OF BEAM, TOP OF CMU AND TOP OF STEEL ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS.

THE GENERAL CONTRACTOR SHALL MAKE NO SUBSTITUTIONS FROM THOSE ITEMS SPECIFIED HEREIN WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT OR ENGINEER.

GENERAL NOTES

1. Structural drawings shall be used in conjunction with architectural and mechanical drawings and drawings relating to other trades. Contractor shall be responsible for checking and coordinating dimensions, clearances, etc. with the work of other trades. In case of conflict between drawings, the more stringent requirement shall govern. In case of conflict between the drawings, notes and specifications, the specifications shall govern. Work not indicated on a part of the drawings but reasonably implied to be similar to that shown at corresponding places shall be repeated. 4. Review all project documents prior to fabrication and start of construction. Report any discrepancies to the project Architect prior to proceeding with work. 5. It is the contractor's responsibility to protect existing facilities, structures and utility lines from all damage during construction. 6. Coordinate structural and other drawings that are part of the contract documents for anchored, embedded or supported items which may affect the structural drawings. 7. All details and shall be construed to apply to any similar situation elsewhere on the project except where a separate detail is shown. 8. Use of contract drawings reproduced in whole or any part in shop drawing shall not relieve the contractor nor subcontractors from their responsibility to accurately layout, coordinate, detail, fabricate and install a complete structure. 9. Review all shop drawings for conformance with the contract documents and for completeness and answer all contractor related questions. Stamp and initial all sheets as Approved prior to submitting shop drawings to Architect for review.

FOUNDATION NOTES

1. Backfill and fill material shall be placed in thin successive layers, 8" loose measurement, and each layer shall be compacted to at least 95% of maximum laboratory density. 2. Backfill material shall consist of sand clay soil as directed and approved by the project geotechnical engineer. 3. Soil to be stripped, compacted and tested in accordance with the recommendations of the soils engineer. 4. Center all footings under their respective columns or walls unless otherwise shown on plans. Maximum misplacement or eccentricity — 2".

5. Horizontal joints in footings will not be permitted.

6. Where vertical construction joints occur in continuous footings, provide a minimum continuous 2" x 4" keyway across joint for each 12" of depth. 7. Notify Architect if soil conditions are uncovered that prevent the required soil bearing pressure from

B. Coordinate plumbing and foundation elevations to minimize interference. Where plumbing interferes with footing, step footing down as directed by engineer.

9. Excavating under or near in-place footings/foundations which disturbs the compacted soil beneath the footings/foundations will not be permitted. 10. Reinforcing shall be supported on precast concrete pads or metal chairs.

CONCRETE NOTES

1. Typical 28 day concrete compressive strength (f'c). f'c (psi) 3000 LOCATION: Slab On Grade

NOTE: All concrete shall be normal weight unless noted otherwise.
2. Reinforcing steel: ASTM A 615, grade 60. Minimum lap shall be 40 bar diameters or 24 inches, U.N.O. 3. Welded wire fabric: ASTM A 185 or ASTM A 497. Lap all edges 1'-0" mesh minimum.

4. Concrete cover: Footings 3", slabs 1 1/2" (U.N.O.). 5. All footings shall rest either on undisturbed soil or a manually operated vibratory sled or tamper should be used to densify any soils in the bottom of the footing trenches loosened during the

6. Contractor is responsible for adequately protecting all excavation slopes.
7. No backfilling against foundation walls shall be done until concrete has attained 75% of its 28 day strength. Provide temporary bracing for walls sustaining more than 3'-6" of earth pressure. This bracing to remain until slabs on grade or floor framing supporting the wall have been poured and set. 8. All continuous horizontal reinforcing and vertical wall reinforcing shall be lapped according to lap splice and embedment requirements per ACI 318, latest edition.

Reinforcement shall be securely held in place while placing concrete. If required, additional bars and stirrups shall be provided by the contractor to furnish support for bars. 15. For waterproofing details and locations, see architectural drawings.

16. Dowels shall match wall reinforcing.

13. Contractor shall make no deviations from design drawings without written approval of the Project Architect. 19. Structural concrete shall conform to ACI 301 and have the following slumps and aggregate requirements Location

Aggregate ASTM #57 Footings ASTM #57 Slabs

All course granite shall be crushed granite. 20. All reinforcing steel shall be detailed, fabricated and installed in accordance with ACI 318 and ACI detailing manual, ACI-315 latest edition. 21. Not used.

22. Shop drawings for placement shall be submitted for review prior to rebar fabrication unless approved otherwise by project Architect. 23. No reinforcing bars shall be cut to accommodate the installation of anchors, embeds or other items. 24. Use the structural drawings including revisions and addenda in conjunction with reviewed shop drawings for placement of reinforcing. 25. At changes in direction of concrete walls, beams and strip footings, provide corner bars of same

size and quantity (U.N.O.) as horizontal steel. Refer to typical detail. 26. Place concrete per ACI 304. Use internal mechanical vibration for all concrete. Limit maximum free fall drop of concrete to 6'-0" for #57 aggregate and 8'-0" for #8 aggregate. All precautions should be taken to avoid segregation of concrete during placement. 27. Saw cut all slabs not less than 1/4 slab depth. Cut shall be made as soon as possible without dislodging the course aggregate, same day as placement. ACI 302

. Masonry construction shall conform to ACI "Building Code Requirements for Masonry Structures" (ACI/ASCÉ 530) and "Specifications for Masonry Structures" (ACI/ASCE 530.1) except as amended below. 2. Obtain copy of masonry code and specifications for reference at the job site.

4. Use type "S" mortar with minimum compressive strength of 1800 psi. 5. Masonry units shall conform to ASTM C90 with a minimum compressive strength of 1900 psi on net section, to provide net area compressive strength of masonry (F'm) of 1500 psi. Provide filled cells as shown on plans. In addition, provide filled cells adjacent to all openings, at

anchorage of connections. . Provide full mortar bedding around all filled cells with vertical reinforcing. 8. Reinforcing for filled cells shall conform to ASTM A615, Grade 60. Provide the following lap splices for reinforcing: #4 Bars 24" #5 Bars 30"

9. Reinforce wall with ladder type reinforcement in bed joints at 16" o.c. measured vertically. Lap splice all horizontal wall reinforcing 6". Provide prefabricated "tee" or corner sections at all intersecting walls. 10. Refer to typical wall sections for maximum construction height of masonry walls. Provide clean—out holes at base of filled cell when the concrete pour exceeds 5 feet in height

11. Concrete for filled cells shall be vibrated during placement using a "pencil" type vibrator. 12. The masonry walls are not designed to withstand temporary construction loads. It is the contractor's responsibility at all times to maintain wall stability during the construction phase of this project.

14. The use of solid load bearing masonry units is prohibited on this project.

15. Masonry wall construction requires expansion/contraction joints. Locate these joints as directed by the project Architect not more than 40 feet on center. Avoid locations near windows and doors or other geometry that would lend to the formation of epxansion cracks.

16. All lintels over masonry openings shall be Cast-Crete Lintels. Cast-Crete lintels are available from General Materials, Inc.

17. Provide seismically rated brick ties for all brick veneer in accordance with manf'r install instructions.

STRUCTURAL STEEL NOTES

1. Structural Steel materials shall conform to the following ASTM specification (U.N.O.): ASTM A36, Fy=36 ksi Angles, plates, misc. steel ASTM A500, Grade B ASTM A449 Anchor Bolts

2. Provide temporary bracing or guys to provide lateral support until permanent lateral bracing is installed. 3. The contractor shall coordinate the bottom of base plate elevation with the top of concrete and masonry elevation. In case of conflict, the contractor shall make allowance in his bid for the more stringent requirement.

4. All steel details and connections shall be in accordance with the requirement of the AISC SPECIFICATIONS (Latest Edition), including all supplements and revisions. 5. Shop connections not specifically detailed on the drawings may be welded or bolted. Field connections

not specifically detailed on the drawing shall be bolted. 6. Fabrication and erection of structural steel shall conform to the AISC "Manual of Steel Construction," and the AISC "Specification for Structural Steel Buildings," latest Editions.

7. All bolts cast in concrete shall conform to ASTM A-36 or A-307. 8. Beams shall be supported on columns by tab plates welded through the center line of the column unless specifically shown otherwise herein.

9. All beams shall be punched for two rows of bolts for the attachment of wood blocking. Blocking shall be placed along the top flange, along the web and along the bottom flange unless spedified otherwise. Bolts shall be two rows at 16" o.c. staggred.

TIMBER FRAMING NOTES

1. All timber construction shall be in accordance with AITC specifications and requirements.
2. All timber framing, unless noted otherwise, shall be not less than #2 SYP or SPF kiln dried with minimum properties of: (fb=1300 psi, Ft=675 psi, Fc=1200 psi).

3. All engineered timber shall have minimum properties of: (Fb=2800 psi, Ft=2600 psi, Fc=2400 psi). 4. Any and all timbers exposed to the earth, weather or in contact with concrete or masonry components or withing eight (8) inche's of exposed grade shall be treated in accordance with AWPA standards. All connectors shall be by the simpson company unless approved otherwise by the project Architect,

6. All floor/roof bracing, blocking and connections shall be by the truss or Engineered component manufacturer. 7. All multiple ply girders shall be glued and nailed together with three rows of 16d nails at 8" o.c. per row and per layer or ply.

8. Provide a double joist below all parallel walls not shown otherwise. Provide a double joist adjacent to all changes in span to minimize differential settlement.

9. Layout all plumbing line and fixture locations and space joists to avoid cutting of joists. Where a joist must be cut provide an additional joist on each side of the cut joist, as close as possible. If cut joists supports more than starndard floor loadings notify engineer for review.

10. Support all joists and beams on joist and beam hangers. Nailers shall not be permitted without prior authorization from engineer

11. Provide simpson CS16 X 24" straps across all ridges and valleys at 32" o.c. Install to prevent against uplift forces (i.e. across tops of ridges), or collar ties at the same spacing.

12. Solid blocking that matches the depth of the floor joists, shall be installed between joists along all interior and exterior walls. Additional blocking shall be installed between joists at 1/3 points for 2x joist framing. 14. All walls supporting two floors and a roof shall be 2x6's at 16" o.c., 2x4's at 8" o.c. or 3x4's at 12" o.c. 15. The GC shall anticipate and provide furing strips or blocking as may be required to provide a smooth surface for the application of sheetrock. This requirement primarily occurs at, but is not limited to, vaulted

ceilings and other such special conditions. 16. The framing and foundations shown herein are based on normal carpet and vinyl floor finishes, normal weight cabinets and counter tops. If heavier materials are used notify engineer and await framing modifications prior to

17. Where roof trusses are used, provide uplift connectors with uplift ratings in excess of the uplift reactions listed within the roof truss shop drawings. Contact engineer for specific directions if required.

18. Top plates, drag struts, shall be nailed together with two rows of 16d nails at 12" o.c. staggered. 19. Bottom plate splices shall have attachments on either side. Where the plate is attached to concrete you can provide 1/2" dia exp'n bolt with 12" ea. side of ea. splice, or you may provide two powder driven fasteners within 8" ea. side of ea. splice. Plates attached to timber framing shall have two 16d nails driven into the supporting framing within 6" ea. side of ea. splice.

20. Provide min 3" x 3" x 1/4" square plate washers between TD bottom wall plates and the nut for anchor bolts. 21. Steel beams and columns shall not bear on timber framing. Provide embeded weld plates and steel columns bearing directly on concrete or masonry as necessary for proper support.

22. All timber framing, unless addressed otherwise herein, shall be installed in accordance with the current edition of the Wood Framed Construction Manual.

DESIGN CRITERIA

DESIGN BASED ON THE 2018 IBC

DEAD LOADINGS

ACTUAL SELF WEIGHT

BASIC WIND SPEED	134 MPH
WIND EXPOSURE CAT.	
SEISMIC DESIGN INFORMATION	
SEISMIC USE GROUP	GROUP 1
Sds	.43
Sdl	.23
SITE CLASS	D
SEISMIC DESIGN CATEGORY	D
SEISMIC FORCE RESIST. SYSTEM	·
DESIGN BASE SHEAR	10,000 LBS
ANALYSIS PROCEDURE	SIMPLE STATIC
FLOOR LL	100 PSF
FLOOR DL	25 PSF
ROOF LL	20 PSF
ROOF DL	20 PSF
GROUND SNOW LOAD	5 PSF

SPECIAL INSPECTIONS

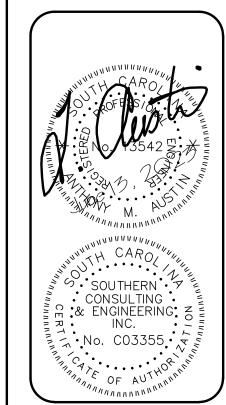
- 1. Submit concrete mix design to engineer for review prior to the start of work.
- 2. Independent third party inspector to be present during CMU block grouting process and confirm proper and complete grouting of reinforced cells.
- 3. Third party inspector to visually verify rafter uplift connector size, location & attachment.

THE USE OF THESE DRAWINGS IS NOT WITHOUT LIMITATION. THESE DRAWINGS ARE PROVIDED IN ACCORDANCE WITH OUR STANDARD "TERMS OF USE." A COPY OF THESE "TERMS OF USE" IS AVAILABLE ON OUR WEBSITE AT WWW.SCE-ENGNG.COM. USE OF THESE DRAWINGS SHALL CONSTITUTE ACCEPTANCE OF THESE TERMS BY THE CLIENT, PROJECT ARCHITECT, PROJECT OWNER, CONTRACTOR OR ANY OTHER PARTY WHO MAY HAVE AN INTEREST IN OR THE NEED TO USE THESE DRAWINGS.

Southern Consulting & Engineering, Inc. **Structural Engineering** 2135 N.A.D. Road North Charleston, SC

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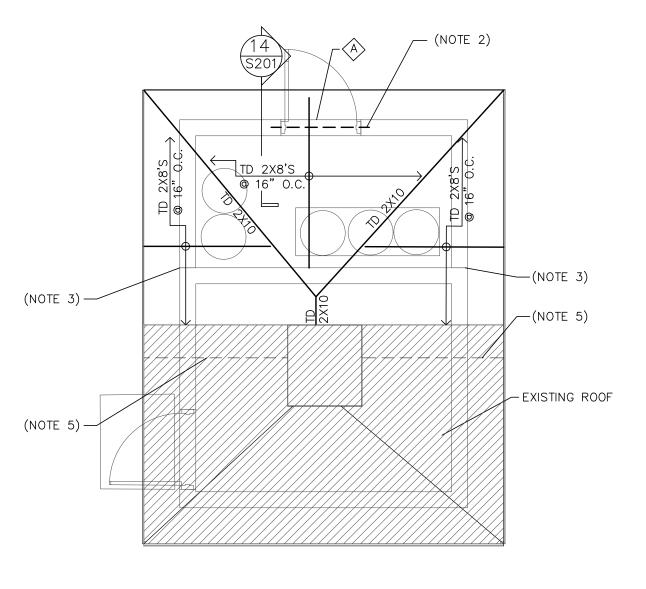
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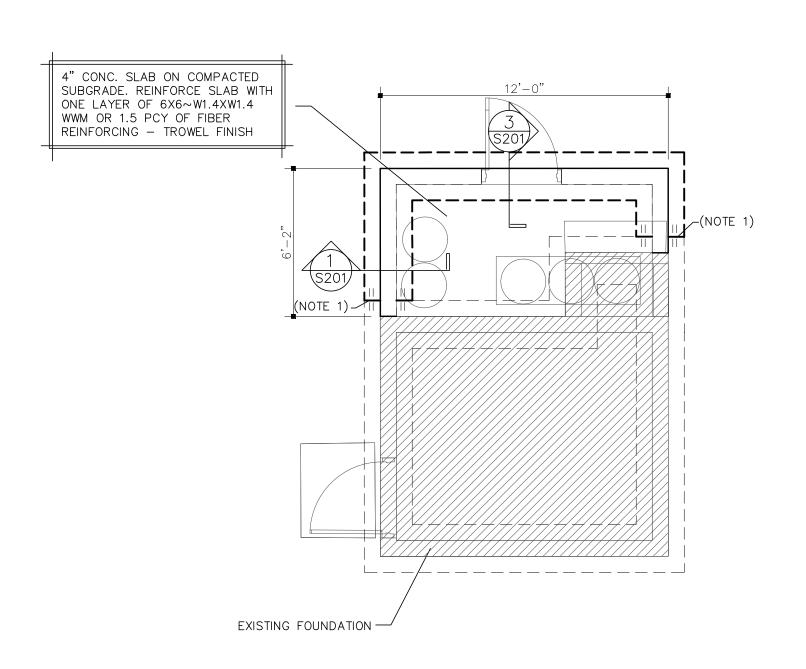
CMU LINTEL SCHEDULE

8"X8" CMU LINTEL WITH (2)#5'S IN BOTTOM.
GROUT SOLID WITH 3000 PSI PEA GRAVEL CONCRETE



ROOF FRAMING

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

SEE ARCH'L DRAWINGS FOR DIMENSIONS AND CONDITIONS NOT SHOWN HEREIN.

TOP OF FOOTINGS SHALL BE NOT LESS THAN 8" BELOW FINISHED GRADE

FOOTINGS AND SLABS SHALL NOT BE PLACED ON UNCONTROLLED FILL. PLACEMENT AND USE OF COMPACTED FILL, IN EXCESS OF 12" SHALL REQUIRE THE INVOLVEMENT AND BE PLACED UNDER THE SUPERVISION OF A QUALIFIED GEOTECHNICAL ENGINEER.

MASONRY HEIGHT ABOVE GRADE SHALL NOT EXCEED 8'-0" WITHOUT PRIOR WRITTEN APPROVAL FROM ENGINEER.

NO SOILS REPORT OR SOILS INVESTIGATION HAS BEEN PERFORMED ON THIS SITE. THIS FOUNDATION DESIGN IS BASED ON ASSUMED SOIL CONDITIONS AND AN ASSUMED SOIL CAPACITY OF 2000 PSF. IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO RETAIN THE SERVICES OF A QUALIFIED GEOTECHNICAL ENGINEER TO VERIFY THE SOIL CONDITIONS ARE ADEQUATE AND THE SITE HAS BEEN PROPERLY PREPARED PRIOR TO THE START OF WORK.

THE GC SHALL REVIEW AND APPROVE ALL DIMENSIONS SHOWN HEREIN PRIOR

THE GC SHALL REVIEW AND APPROVE ALL DIMENSIONS SHOWN HEREIN PRIOR TO THE START OF WORK. NOTIFY ENGINEER OF ANY DIMENSION OR CONDITION FOUND CONTRARY TO THAT SHOWN WITHIN THE ARCH'L DRAWINGS.

DRAWING NOTES (NOTE X)

- (1) DRILL AND EPOXY (2)#4'S X 2'-6" NOT LESS THAN 6" INTO FOOTING WHERE NEW ABUTS EXISTING
- (2) EXTEND CMU LINTEL NOT LESS THAN 8" ONTO ADJACENT CMU. TOOTH INTO EXISTING AS REGUIRED.
- (3) PROVIDE A VERTICAL CMU CONTROL JOINT BETWEEN NEW AND EXISTING CMU.

(4) - NOT USED

(5) — EXTEND NEW ROOF SHEATHING 16"
BEYOND EDGE OF NEW CONSTRUCTION.
NEW SHEATHING TO FLUSH WITH TOP OF
EXISTING. ADD BLOCKING AS REQUIRED
TO SUPPORT EDGE OF NEW AND
EXISTING SHEATHING

OWNER, CONTRACTOR OR ANY OTHER PARTY WHO MAY HAVE AN INTEREST IN OR THE NEED TO USE THESE DRAWINGS.

Southern Consulting & Engineering, Inc. Structural Engineering 2135 N.A.D. Road

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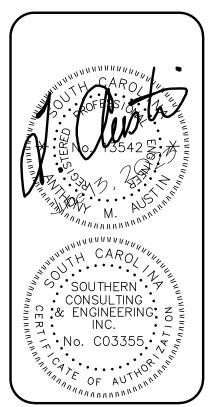
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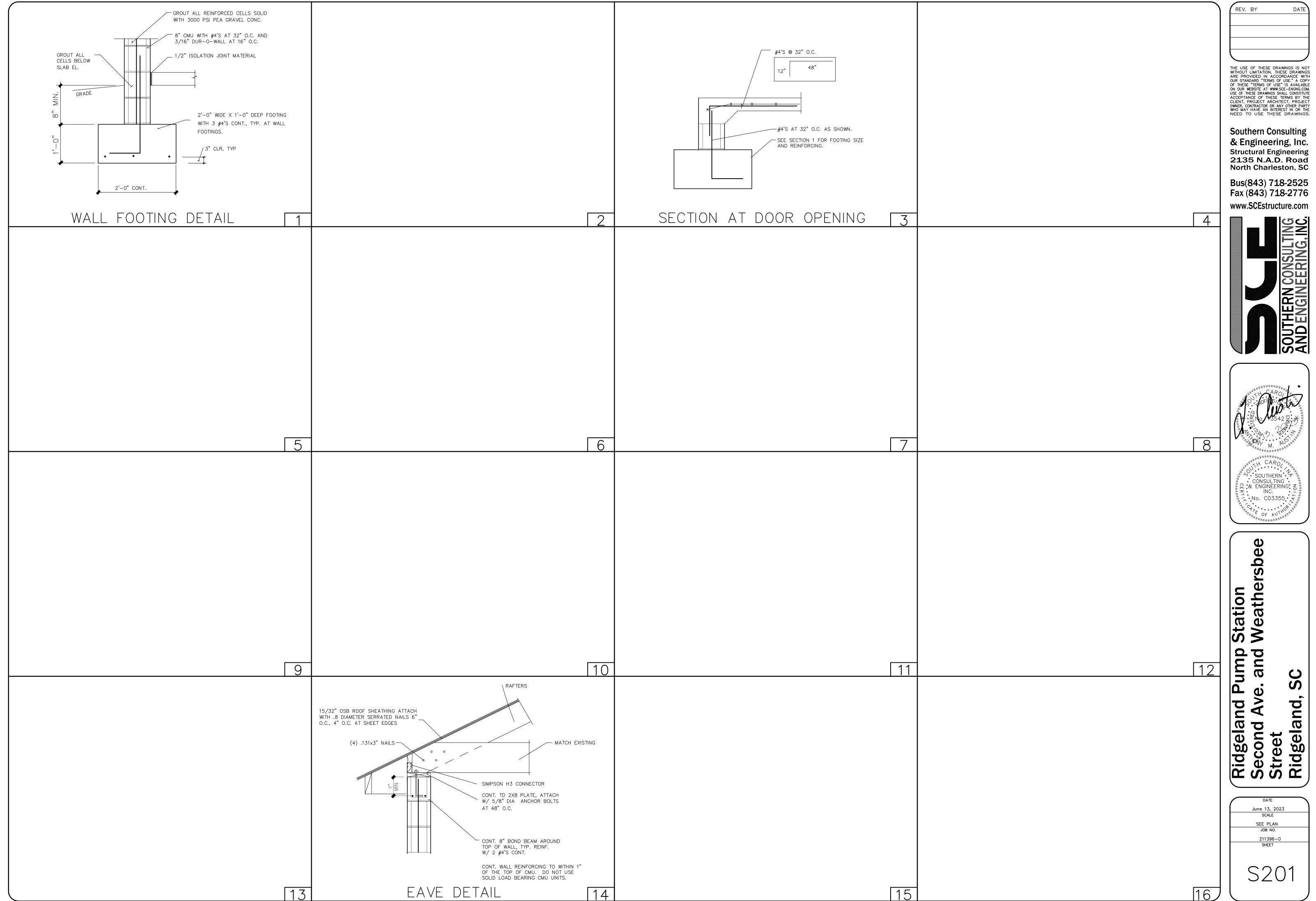




Ridgeland Pump Station Second Ave. and Weathersk Street Ridgeland, SC

DATE
June 13, 2023
SCALE
SEE PLAN
JOB NO.

S101



Southern Consulting & Engineering, Inc. Structural Engineering

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