



Town of Ridgeland

June 14, 2023

PROJECT: Town of Ridgeland Water and Sewer Resiliency Improvements
TOR-2023-02

ADDENDUM: Three (3)

DUE DATE: June 20, 2023 at 2:00 PM

THIS ADDENDUM IS FOR THE PURPOSE OF MAKING THE FOLLOWING CHANGES OR CLARIFICATIONS:

1. **The following Project Contract Drawings have been updated and are reissued with Addendum 3 at the end of the document.** Primary modifications include but are not limited to:

a. Part III: Well Site 2 Improvements

- i. A10, A10.1 – A10.7 Architectural improvements updates to correct dimensions of the existing building and to modify and increase the size of the proposed building expansion for the chemical room.
- ii. S100, S101, and S201 Structural improvements updates to correct dimensions of the existing building and to modify and increase the size of the proposed building expansion for the chemical room.

2. **Responses to Questions**

A. Question: Are PS-3 and PS-4 also included in the wetwells receiving interior protective coating, currently in Plan Sheets C1.5 and C2.4, there is a note stating, "PRECAST CONCRETE WETWELL WITH INTERIOR PROTECTIVE COATING SYSTEM. SEE NOTE 9"?

Response: PS-3 and PS-4 will have new precast concrete wetwells. The wetwells, as per the callout referenced in the question and Note 9 on drawings C1.5 and C2.4, shall have an interior protective coating system installed. The specification section

02640 Sewer System Construction issued with Addendum 2 was modified to include coating requirements for wetwells.

- B. Question: There are no particular specifications regarding interior protective coatings for wetwells. Is the Owner/Engineer expecting the contractor to perform this work in accordance with Section 02960, subsection 2.1? If not, please provide further details, such as the approved product, required thickness, and final acceptance criteria.

Response: The specification section 02640 Sewer System Construction issued with Addendum 2 was modified to include coating requirements for wetwells.

3. Acknowledgement:

The Bidder shall include acknowledgement of the Addendum Three (3) in bid by including this form and also acknowledge Addendum Three (3) in Section 00300 Bid Proposal Form.

Signature: _____ Date: _____

PROJECT PARTICIPANTS

OWNER

TOWN OF RIDGELAND
1 TOWN SQUARE
RIDGELAND, SC 29936

CIVIL AND ENVIRONMENTAL ENGINEERING

FOUR WATER ENGINEERING

324 6TH AVE
JACKSONVILLE BEACH, FLORIDA 32250

CONTACT: ANGELA BRYAN, PE, LEED AP
PHONE: 844-414-2400
EMAIL: abryan@4weng.com

ARCHITECT

WOODS DENDY ARCHITECTS, LLC

893 GRAYS HIGHWAY
RIDGELAND, SC 29936

CONTACT: GRADY L. WOODS, AIA, NCARB
PHONE: 843 726 6730
EMAIL: thenry@woodsdeny.com

STRUCTURAL

SOUTHERN CONSULTING AND ENGINEERING, INC
105 CENTRAL AVE 100A
GOOSE CREEK, SC

CONTACT: TONY AUSTIN, PE
PHONE: 843-718 - 2525

1. ARCHITECT IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THESE CONSTRUCTION DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE. THE ABOVE NAMED COMPANY AND ARCHITECT OF RECORD ARE NOT LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. ALL WORK REQUIRING MEASURING SHALL BE DONE ACCORDING TO FIGURES ON DRAWINGS AND NOT SCALED FROM DRAWINGS. THE ARCHITECT SHALL FURNISH ANY MISSING DIMENSIONS UPON REQUEST.
3. ALL WORK SHALL CONFORM TO PREVAILING CODES, ORDINANCES AND REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION AND SHALL PAY ALL APPLICABLE FEES.
4. EXISTING CONDITIONS AND ACTUAL FIELD CONDITIONS MAY VARY FROM INDICATIONS ON DRAWINGS. ALL NEW WORK RELATED TO OR AFFECTED BY EXISTING CONDITIONS SHALL BE MODIFIED TO ACHIEVE THE INTENT OF THE DRAWINGS (COORDINATE WITH ARCHITECT AND OWNER). THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE OWNER AND THE ARCHITECT BEFORE PROCEEDING WITH DIRECTLY AFFECTED DEMOLITION OR CONSTRUCTION.
5. THE CONTRACTOR SHALL SURVEY PROJECT SITE BEFORE BEGINNING ANY WORK TO VERIFY EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO OWNER AND ARCHITECT BEFORE BEGINNING WORK.
6. PRIOR TO ANY NEW WORK, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT OF ANY UNFORESEEN EXISTING CONDITIONS IN NEED OF REPAIR OR WHICH MAY CAUSE DAMAGE TO THE NEW WORK. THE CONTRACTOR SHALL NOTIFY AND ALLOW SUFFICIENT TIME FOR THE OWNER AND ARCHITECT TO INSPECT THE CONDITION OF THE EXPOSED WORK PRIOR TO INSTALLING NEW CONSTRUCTION.
7. INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
8. ALL ITEMS ON PLANS, ELEVATIONS AND DETAILS FOR NEW CONSTRUCTION SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
9. ALL CONSTRUCTION SHALL COMPLY WITH IBC SECTION 1612 AS IT RELATED TO FLOOD LOADS AND MATERIALS. WALL AND CEILINGS SHALL BE 5/8" TYPE X GYPSUM BOARD.
10. EXTERIOR PAINT COLORS TO MATCH EXISTING. PRIMER AND TWO COATS OF EXTERIOR LATEX PAINT.



CODE REFERENCES

CODE ENFORCEMENT JURISDICTION: TOWN ON RIDGELAND

INTERNATIONAL BUILDING CODE (IBC): 2021
INTERNATIONAL MECHANICAL CODE: 2021
INTERNATIONAL PLUMBING CODE: 2021
INTERNATIONAL FUEL GAS CODE: 2021
INTERNATIONAL FIRE CODE: 2021
INTERNATIONAL ENERGY CODE: 2009
THE NATIONAL ELECTRICAL CODE: 2020
ICC/ANSI A117.1: 2017
ASCE 7 -10
ASCE 24
CLIMATE ZONE: ZONE 3
ALL ELEVATIONS SHOWN ARE: NAVD 88

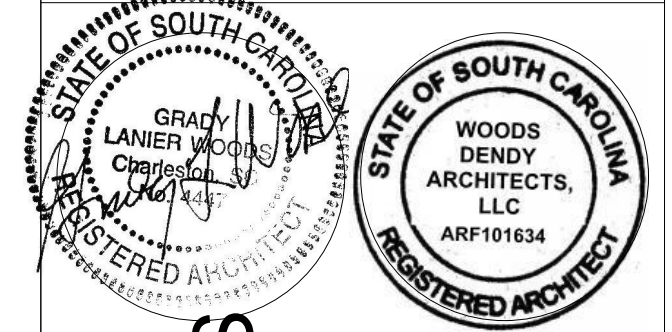
Sheet List	
Sheet Number	Sheet Name
A10	COVER SHEET
A10.1	SITE PLAN
A10.2	EXISTING AND PROPOSED FLOOR PLANS
A10.3	ROOF FRAMING PLAN
A10.4	ROOF PLAN
A10.5	ELEVATIONS AND PERSPECTIVES
A10.6	BUILDING SECTION
A10.7	EXISTING BUILDING PHOTOS
S100	STRUCTURAL NOTES
S101	ROOF FRAMING AND FOUNDATION
S201	SECTION AND DETAILS

WDA

Woods Dendy Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS

893 GRAYS HIGHWAY
RIDGELAND, SC 29936
PHONE: 843-726-6730



NEW CONSTRUCTION FOR:
WATER & SEWER RESILIENCY IMPROVEMENTS

SECOND AVE AND WEATHERSBEE ST
RIDGELAND, SC

PROJECT NO. 21025

DRAWN BY: TH CHECKED BY: GW

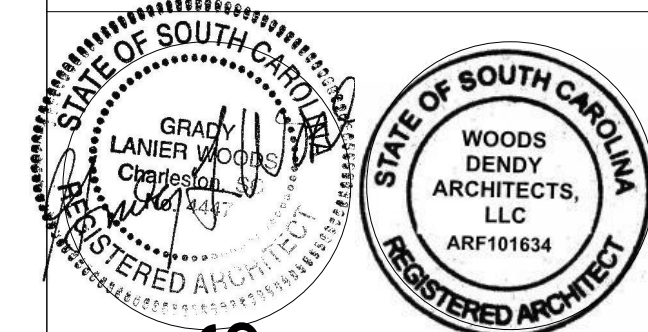
REV. NO.	REV. DATE
1	12 MAY 23 GENERAL REVISIONS
2	BUILDING EXP 8 JUNE 23

Project Status
DATE: 19 MAY 22

COVER SHEET

A10

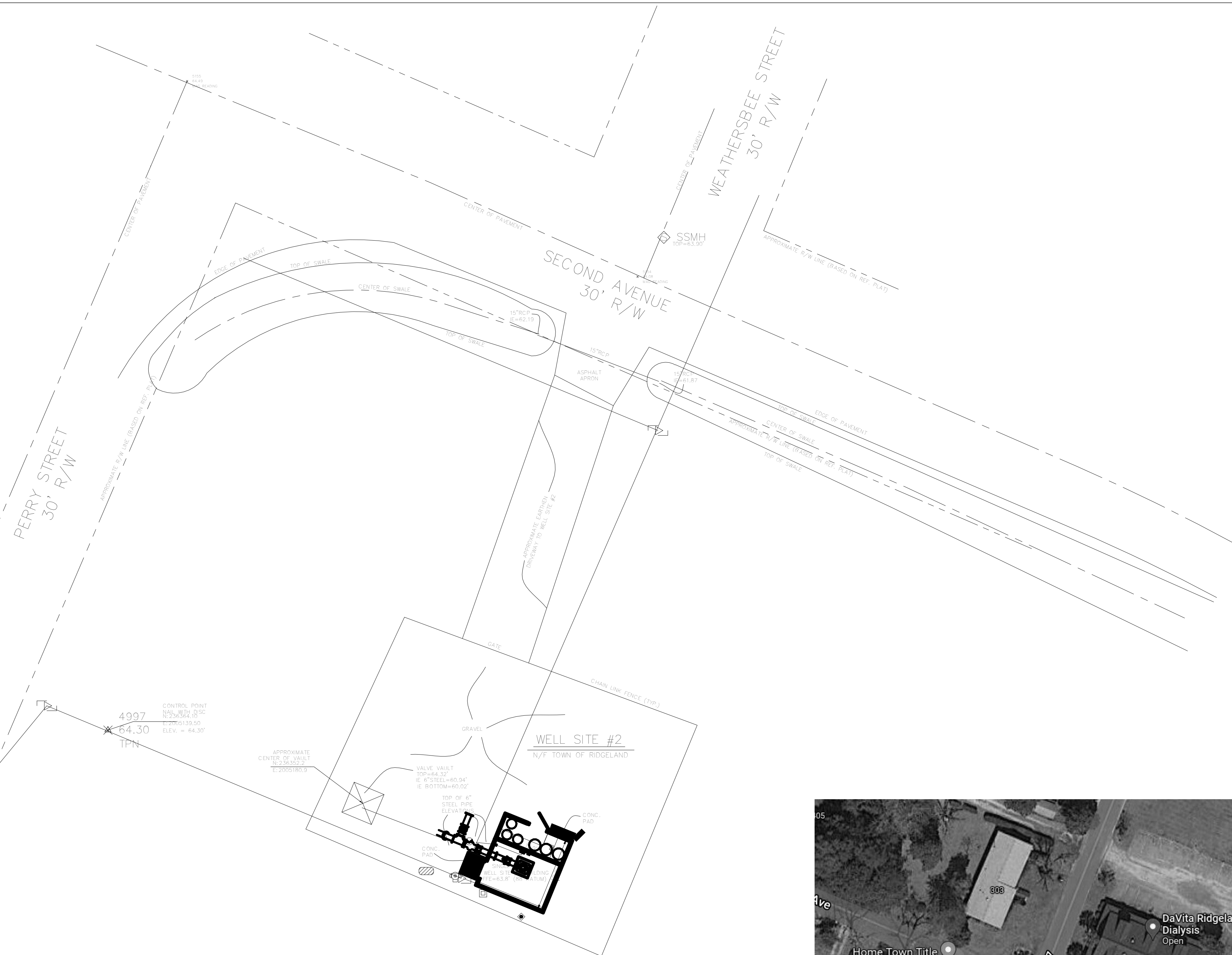
THESE DRAWINGS ARE THE PROPERTY OF WOODS DENDY ARCHITECTS, LLC, AND ARE NOT TO BE USED FOR MAKING ANY REPRODUCTION OR FOR THE CONSTRUCTION OF ANY BUILDING WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FROM THE COPY-RIGHT OWNER, WOODS DENDY ARCHITECTS, LLC.



NEW CONSTRUCTION FOR:
WATER & SEWER RESILIENCY IMPROVEMENTS

SECOND AVE AND WEATHERSBEE ST
RIDGELAND, SC

PLOT INFO: 6/8/2023 7:54:55 AM C:\Users\Thomas\OneDrive\Projects\2021\21025 Jasper Co. WELL #2\DWG\INCS\water pump rev 2.rvt



1 SITE PLAN
1" = 10'-0"



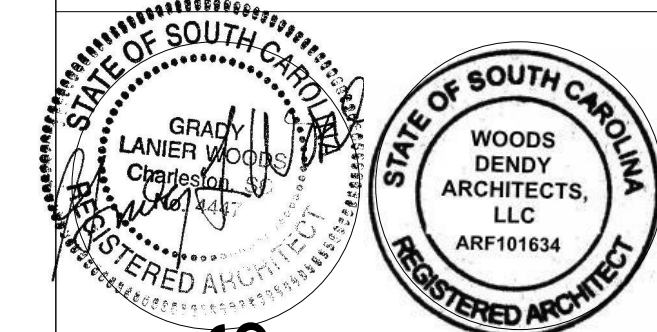
2 VICINITY MAP
1" = 160'-0"

PROJECT NO.	21025
DRAWN BY: Author	CHECKED BY: Checker
REVISION SCHEDULE	
REV. NO.	REV. DATE
1	12 MAY 23 GENERAL REVISIONS
2	BUILDING EXP 8 JUNE 23
Project Status	
DATE:	19 MAY 22

SITE PLAN

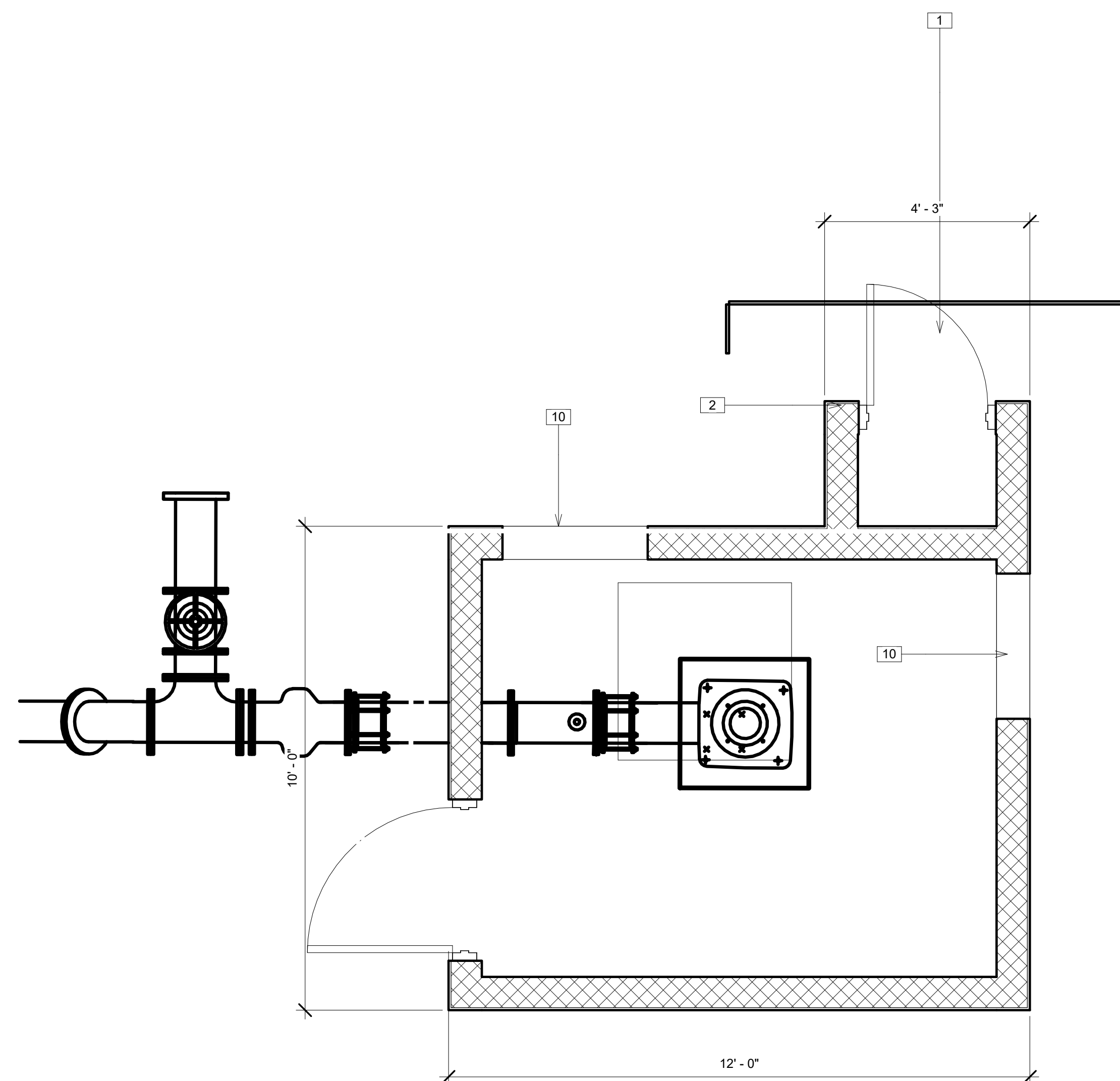
A10.1

THESE DRAWINGS ARE THE PROPERTY OF WOODS DENDY ARCHITECTS, LLC, AND ARE NOT TO BE USED FOR MAKING ANY REPRODUCTION OR FOR THE CONSTRUCTION OF ANY BUILDING WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FROM THE COPY-RIGHT OWNER, WOODS DENDY ARCHITECTS, LLC.

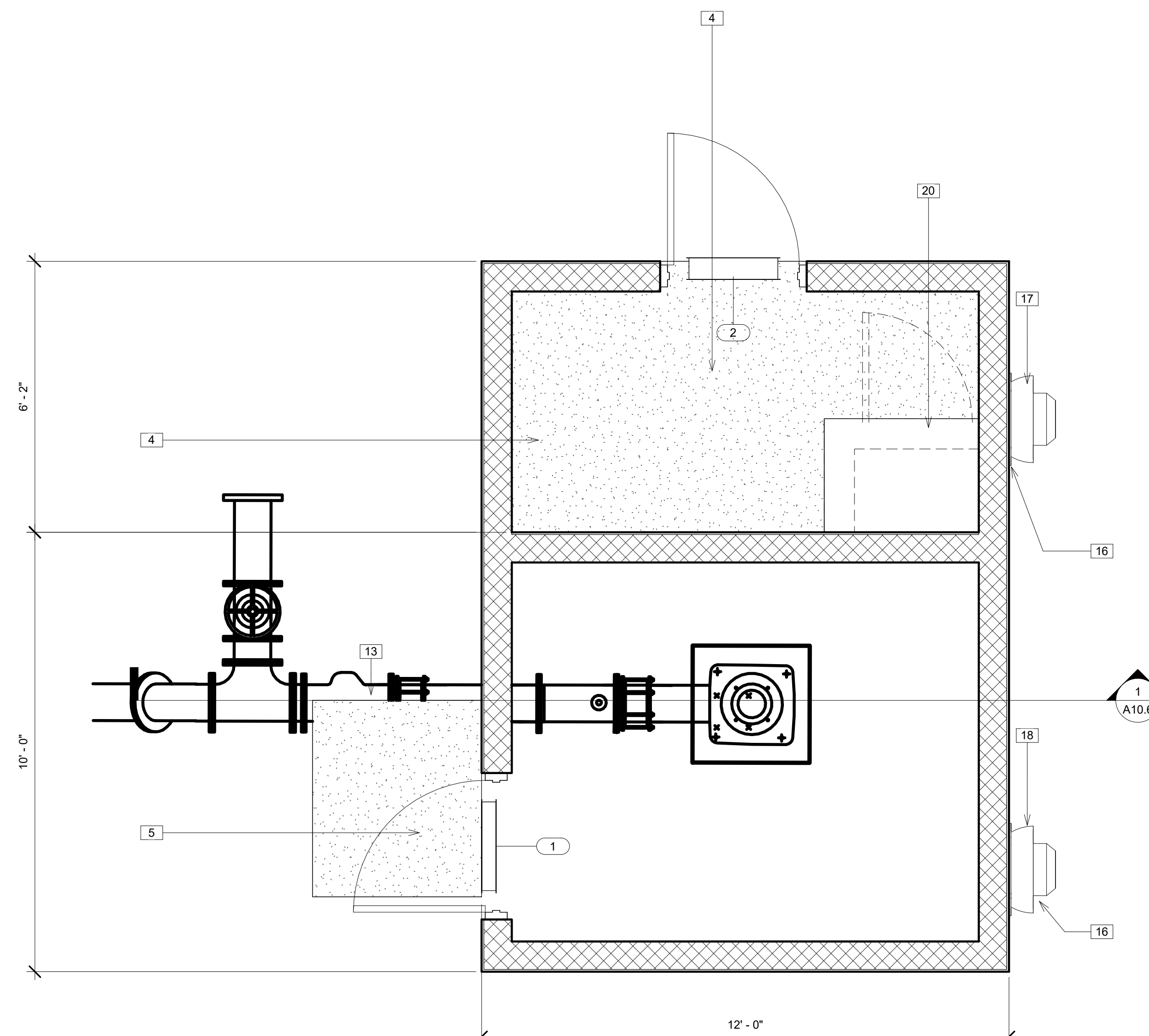


NEW CONSTRUCTION FOR:
WATER & SEWER RESILIENCY IMPROVEMENTS

SECOND AVE AND WEATHERSBEE ST
RIDGELAND, SC



EXISTING LEVEL 1 PLAN



PROPOSED LEVEL 1 PLAN

Keynote Legend	
Key Value	Keynote Text
1	REMOVE EXISTING DOOR, CLOSE OPENING AND MATCH EXISTING FINISHES
2	REMOVE CMU WALL, TIE BEAM AND PATCH FLOOR TO MATCH EXISTING
4	NEW 4" CONCRETE SLAB.. SEE STRUCTURAL
5	REPLACE DOORS. SEE DOOR SCHEDULE
9	NEW DOOR. 3-0 / 7-0 HOLLOW METAL FRAME WITH GLASS LIGHT
10	REMOVE WINDOW AND FILL IN WITH CMU TO MATCH EXISTING
13	EXISTING STOOP
14	5/8" STUCCO EXTERIOR SAND FLOAT FINISH
16	PROVIDE SHOP DRAWINGS DEPICTING FLASHING DETAIL FOR FANS TO OBTAIN WEATHER TIGHTNESS
17	DOOR LOUVER SHALL BE SIZE FOR 600 CFM INTAKE SEE MECHANICAL
18	DOOR LOUVER SHALL BE SIZE FOR 1200 CFM INTAKE SEE MECHANICAL
20	REMOVE EXISTING DOOR, WALLS AND SLAB.

PROJECT NO.

21025

DRAWN BY: Author CHECKED BY: Checker

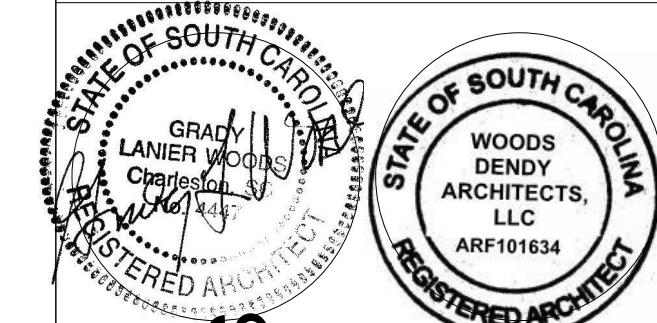
REVISION SCHEDULE	
REV. NO.	REV. DATE
1	12 MAY 23 GENERAL REVISIONS
2	BUILDING EXP 8 JUNE 23

Project Status
DATE: 19 MAY 22

EXISTING AND PROPOSED FLOOR PLANS

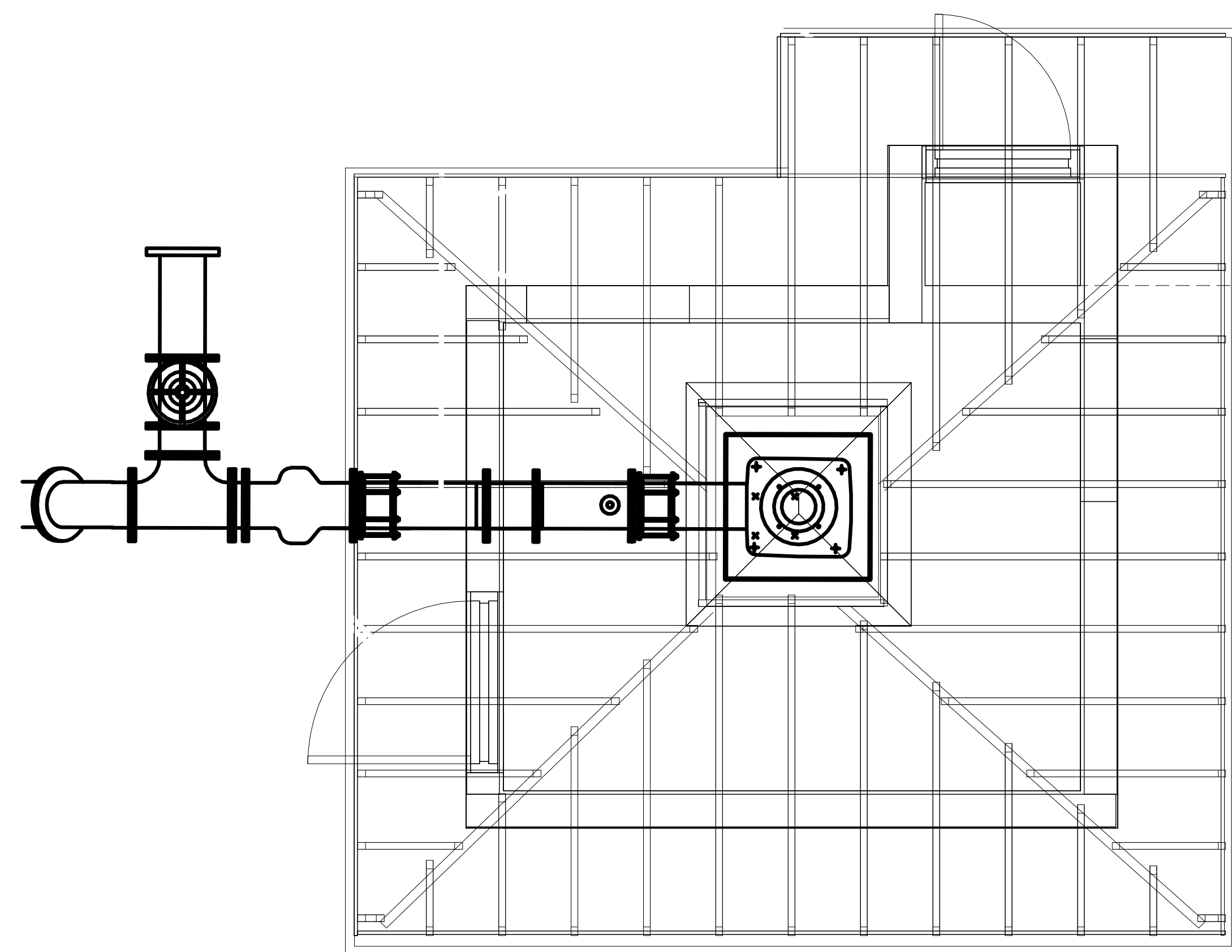
A10.2

THESE DRAWINGS ARE THE PROPERTY OF WOODS DENDY ARCHITECTS, LLC, AND ARE NOT TO BE USED FOR MAKING ANY REPRODUCTION OR FOR THE CONSTRUCTION OF ANY BUILDING WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FROM THE COPY-RIGHT OWNER, WOODS DENDY ARCHITECTS, LLC.



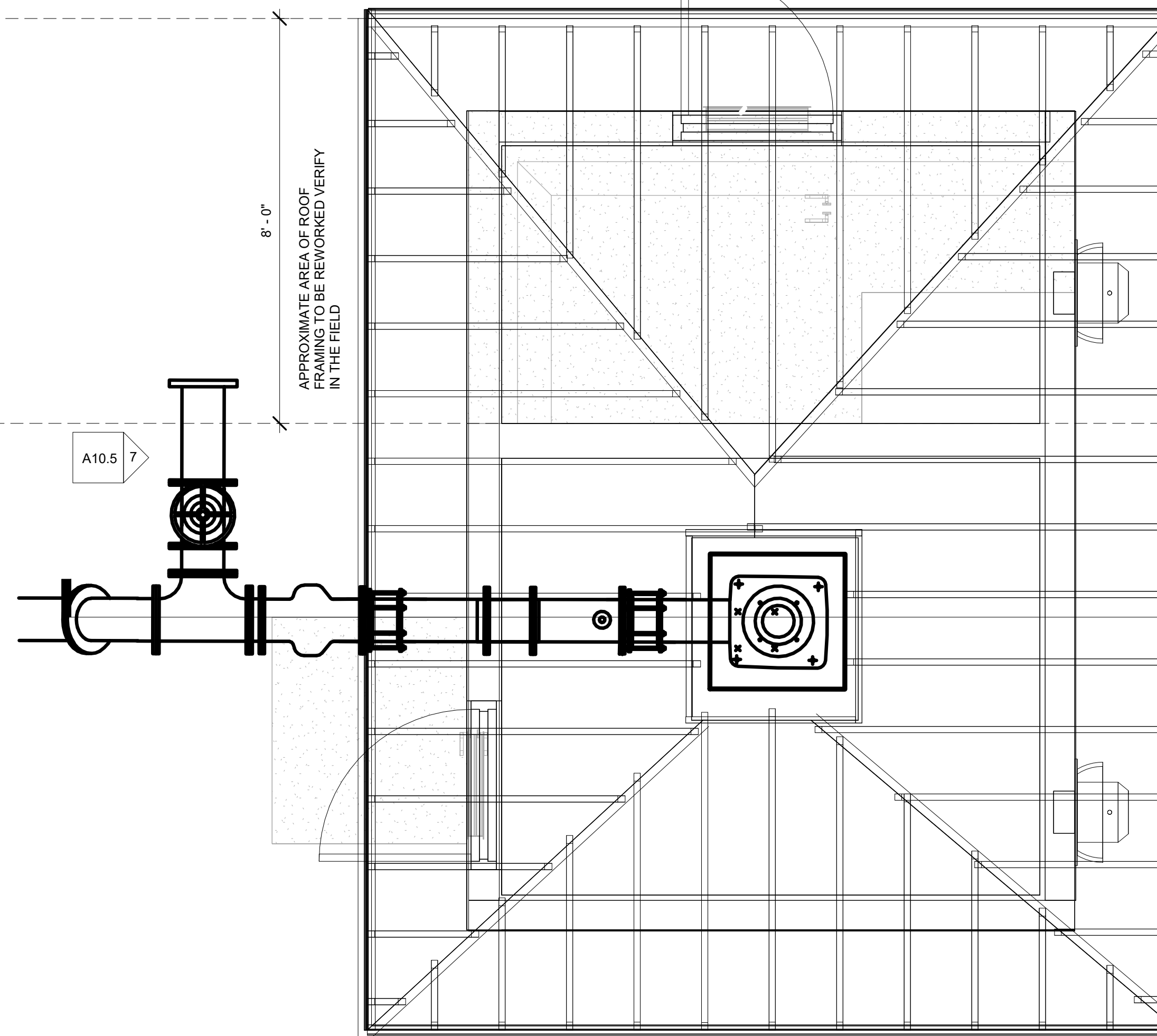
NEW CONSTRUCTION FOR:
WATER & SEWER RESILIENCY IMPROVEMENTS

SECOND AVE AND WEATHERSBEE ST
RIDGELAND, SC



EXISTING FRAMING LAYOUT

6 A10.5



PROPOSED ROOF FRAMING

A10.5 7

1 A10.6

NOTE:

SEE STRUCTURAL DRAWINGS FOR FOUNDATION AND FRAMING DETAILS. PROVIDE SHOP DRAWING FOR APPROVAL. VERIFY IN FIELD EXISTING FRAMING.

Keynote Legend	
Key Value	Keynote Text
1	REMOVE EXISTING DOOR, CLOSE OPENING AND MATCH EXISTING FINISHES
2	REMOVE CMU WALL, TIE BEAM AND PATCH FLOOR TO MATCH EXISTING
4	NEW 4" CONCRETE SLAB.. SEE STRUCTURAL
5	REPLACE DOORS. SEE DOOR SCHEDULE
9	NEW DOOR. 3-0 / 7-0 HOLLOW METAL FRAME WITH GLASS LIGHT
10	REMOVE WINDOW AND FILL IN WITH CMU TO MATCH EXISTING
13	EXISTING STOOP
14	5/8" STUCCO EXTERIOR SAND FLOAT FINISH
16	PROVIDE SHOP DRAWINGS DEPICTING FLASHING DETAIL FOR FANS TO OBTAIN WEATHER TIGHTNESS
17	DOOR LOUVER SHALL BE SIZE FOR 600 CFM INTAKE SEE MECHANICAL
18	DOOR LOUVER SHALL BE SIZE FOR 1200 CFM INTAKE SEE MECHANICAL
20	REMOVE EXISTING DOOR, WALLS AND SLAB.

PROJECT NO.

21025

DRAWN BY: Author CHECKED BY: Checker

REVISION SCHEDULE

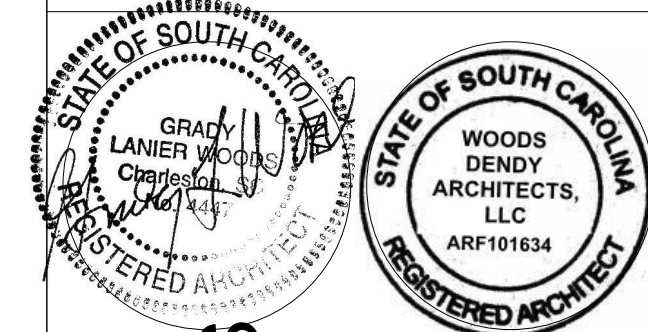
REV. NO.	REV. DATE
1	12 MAY 23 GENERAL REVISIONS
2	BUILDING EXP 8 JUNE 23

Project Status

DATE: 19 MAY 22

ROOF FRAMING PLAN

A10.3



NEW CONSTRUCTION FOR:
WATER & SEWER RESILIENCY IMPROVEMENTS

SECOND AVE AND WEATHERSBEE ST
RIDGELAND, SC

PROJECT NO. 21025

DRAWN BY: Author CHECKED BY: Checker

REVISION SCHEDULE	
REV. NO.	REV. DATE
1	12 MAY 23 GENERAL REVISIONS
2	BUILDING EXP 8 JUNE 23

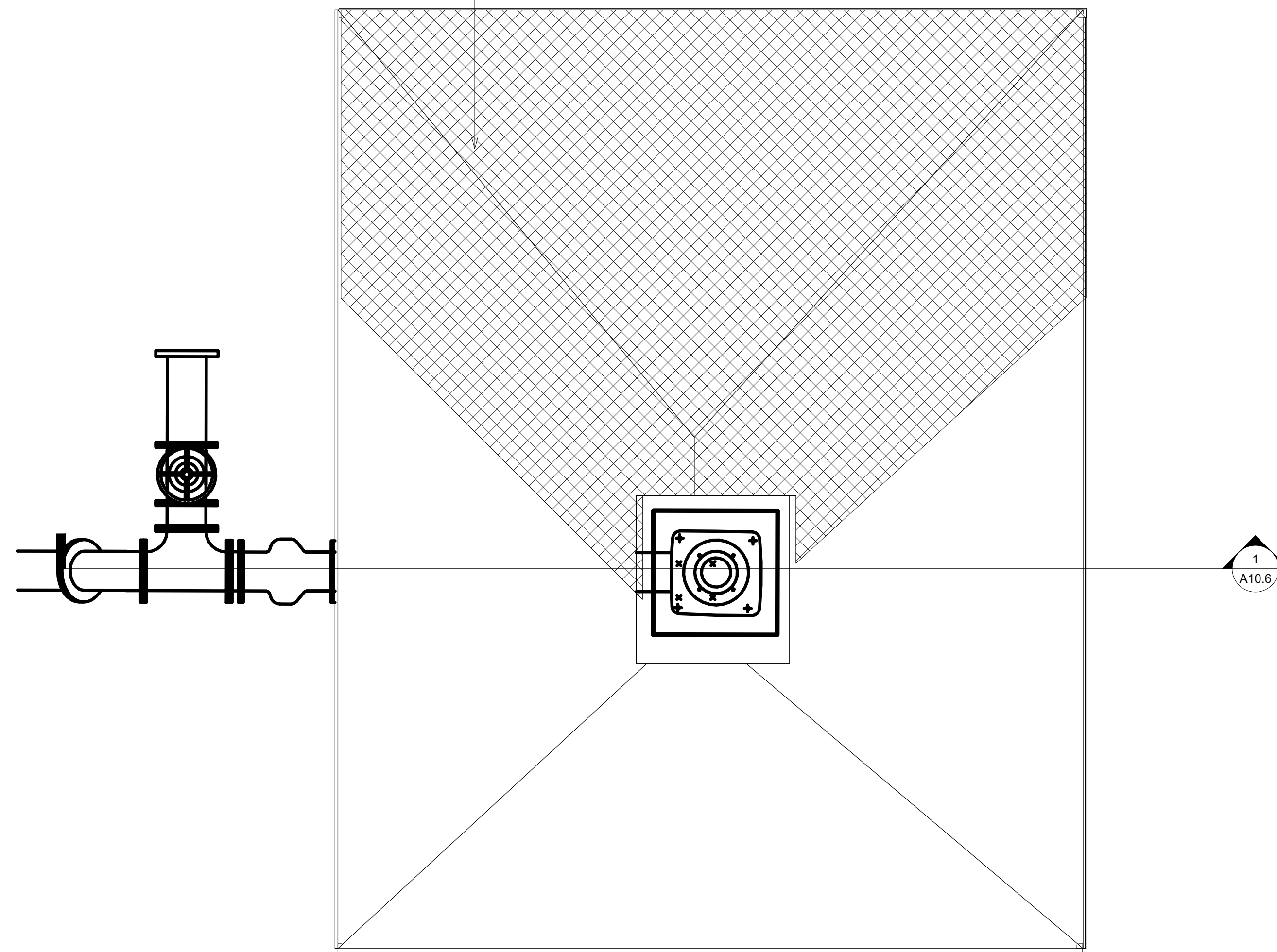
Project Status
DATE: 19 MAY 22

ROOF PLAN

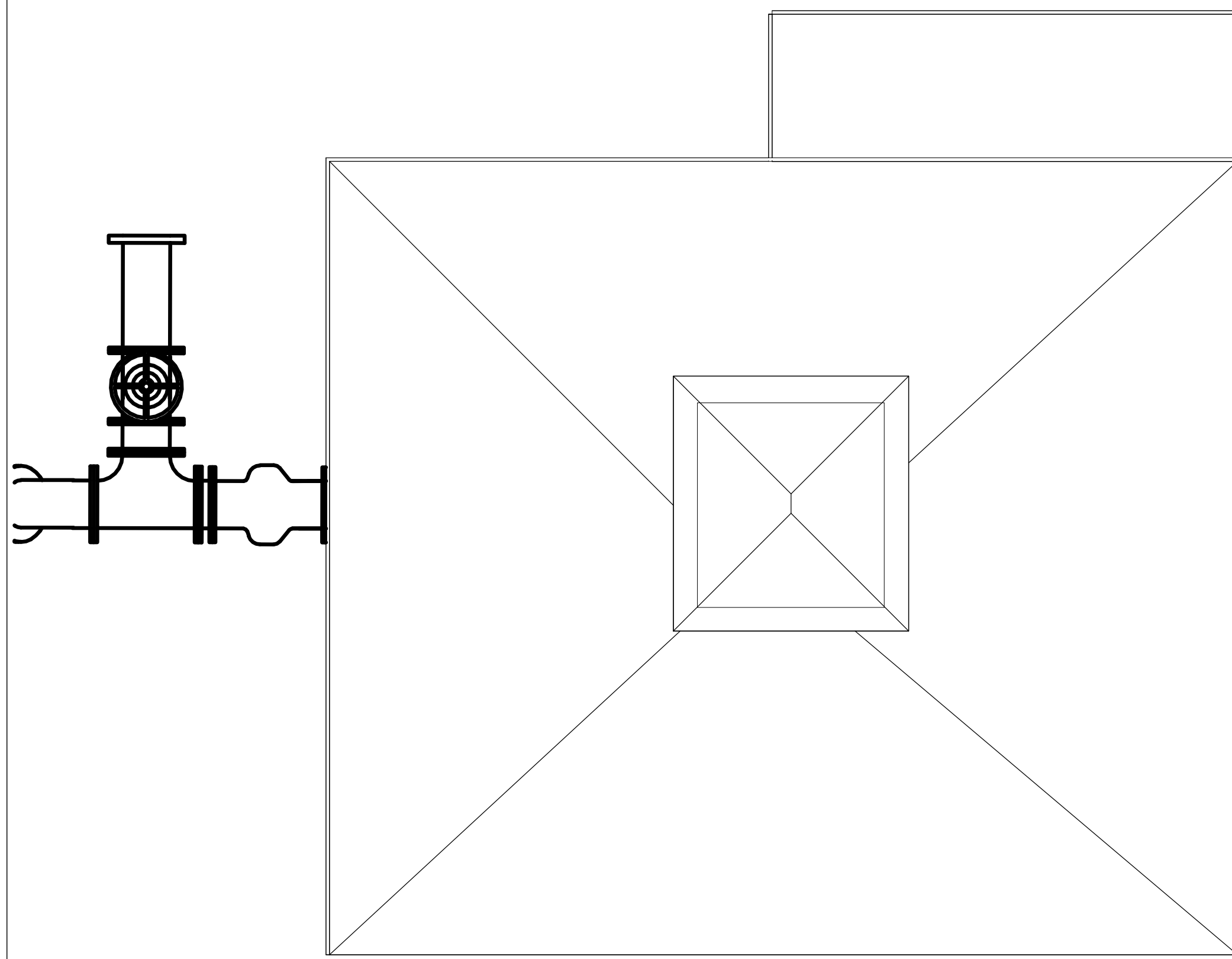
A10.4

THESE DRAWINGS ARE THE PROPERTY OF WOODS DENDY ARCHITECTS, LLC, AND ARE NOT TO BE USED FOR MAKING ANY REPRODUCTION OR FOR THE CONSTRUCTION OF ANY BUILDING WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FROM THE COPY-RIGHT OWNER, WOODS DENDY ARCHITECTS, LLC.

AREA OF ROOF MODIFICATION. REFRAME AREAS TO OBTAIN EXTENSION AS SHOWN. MAKE PROVISION TO PROTECT INTERIOR EQUIPMENT WHILE REFRAMING.

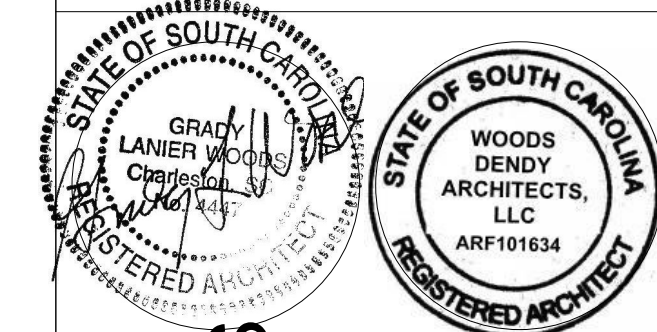


PROPOSED ROOF



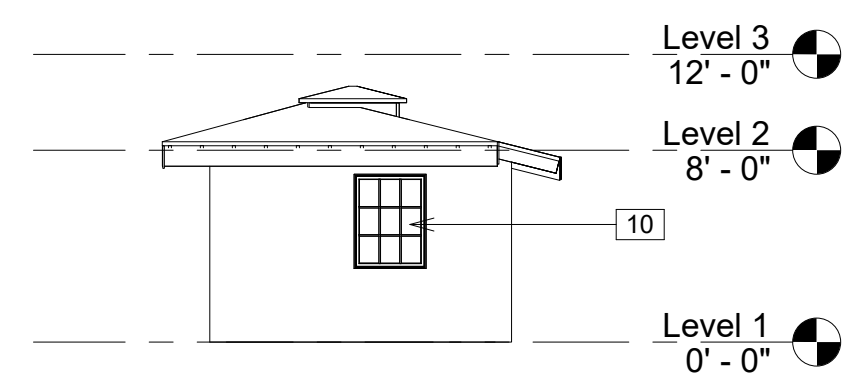
EXISTING ROOF

Keynote Legend	
Key Value	Keynote Text
1	REMOVE EXISTING DOOR, CLOSE OPENING AND MATCH EXISTING FINISHES
2	REMOVE CMU WALL, TIE BEAM AND PATCH FLOOR TO MATCH EXISTING
4	NEW 4" CONCRETE SLAB.. SEE STRUCTURAL
5	REPLACE DOORS. SEE DOOR SCHEDULE
9	NEW DOOR. 3-0 / 7-0 HOLLOW METAL FRAME WITH GLASS LIGHT
10	REMOVE WINDOW AND FILL IN WITH CMU TO MATCH EXISTING
13	EXISTING STOOP
14	5/8" STUCCO EXTERIOR SAND FLOAT FINISH
16	PROVIDE SHOP DRAWINGS DEPICTING FLASHING DETAIL FOR FANS TO OBTAIN WEATHER TIGHTNESS
17	DOOR LOUVER SHALL BE SIZE FOR 600 CFM INTAKE SEE MECHANICAL
18	DOOR LOUVER SHALL BE SIZE FOR 1200 CFM INTAKE SEE MECHANICAL
20	REMOVE EXISTING DOOR, WALLS AND SLAB.

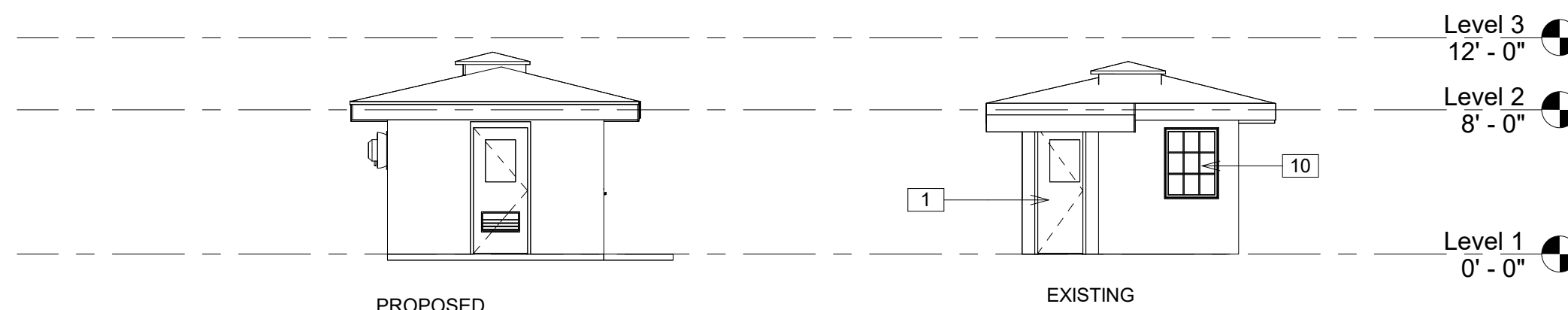


NEW CONSTRUCTION FOR:
WATER & SEWER RESILIENCY IMPROVEMENTS

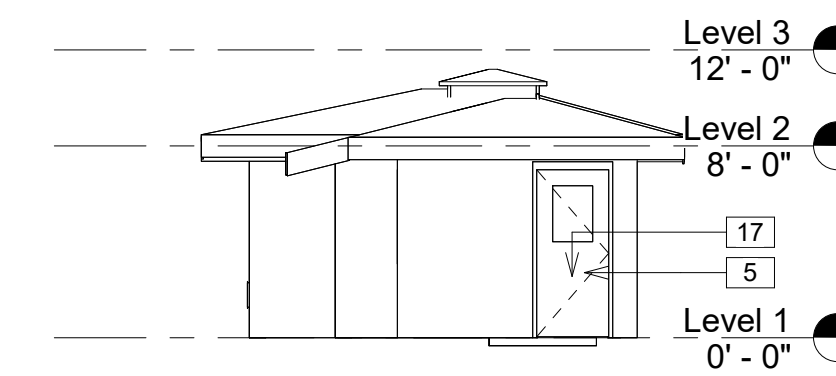
SECOND AVE AND WEATHERSBEE ST
RIDGELAND, SC



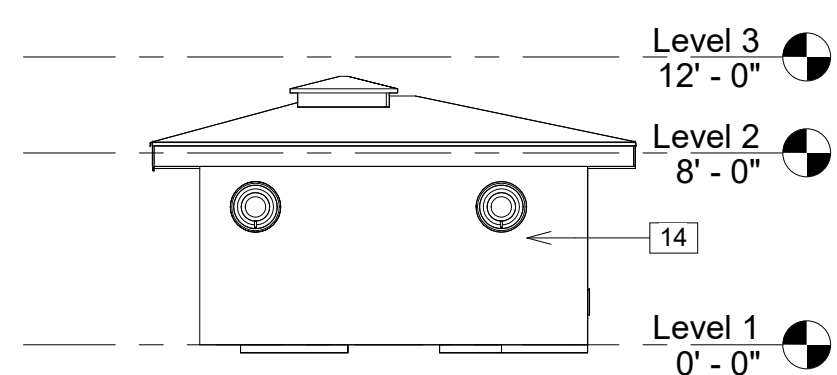
6 EAST ELEVATION EXISTING
1/8" = 1'-0"



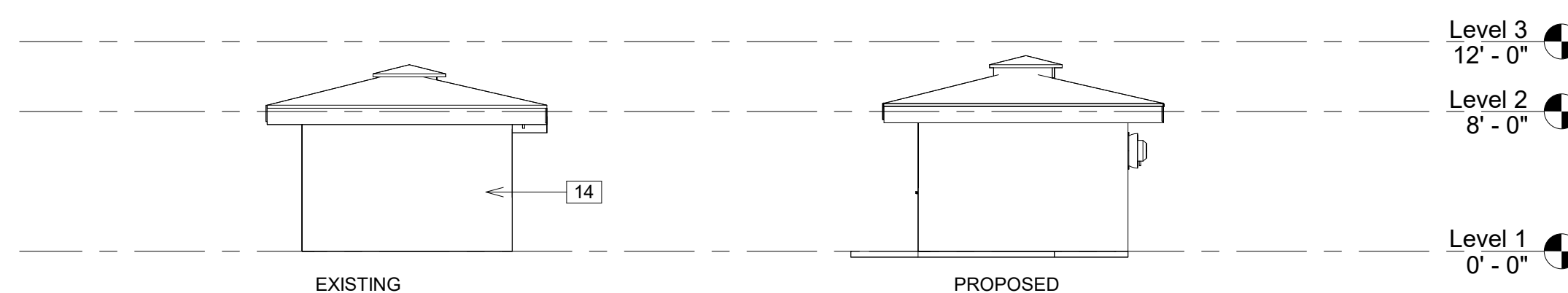
3 NORTH EXISTING AND PROPOSED
1/8" = 1'-0"



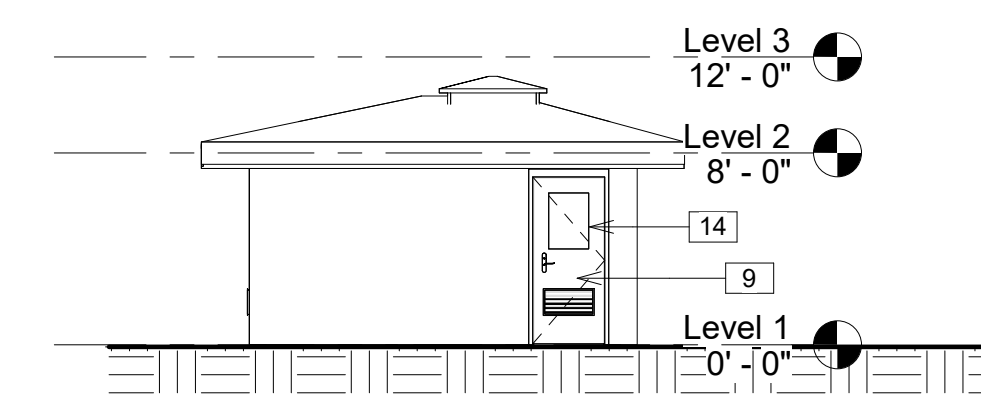
5 WEST ELEVATION EXISTING
1/8" = 1'-0"



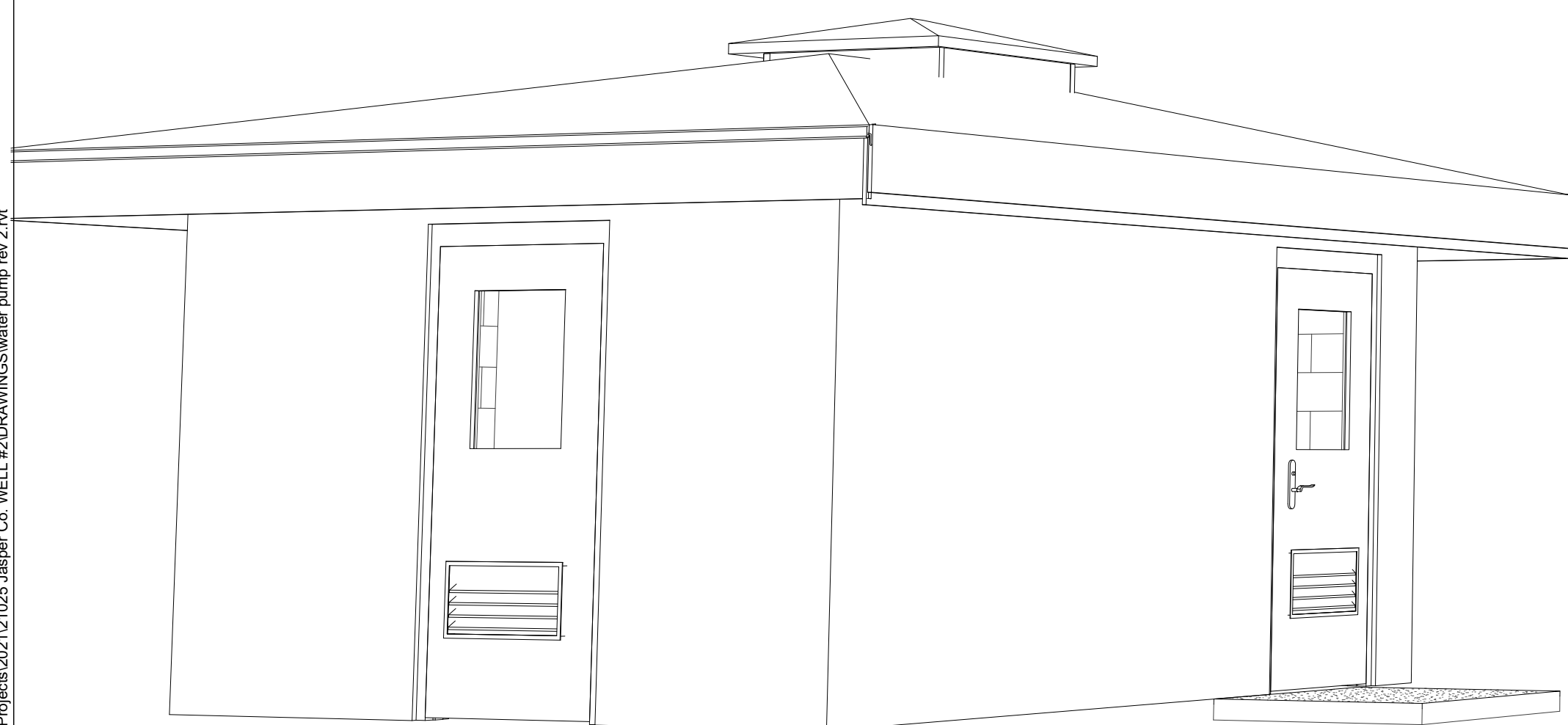
2 EAST PROPOSED
1/8" = 1'-0"



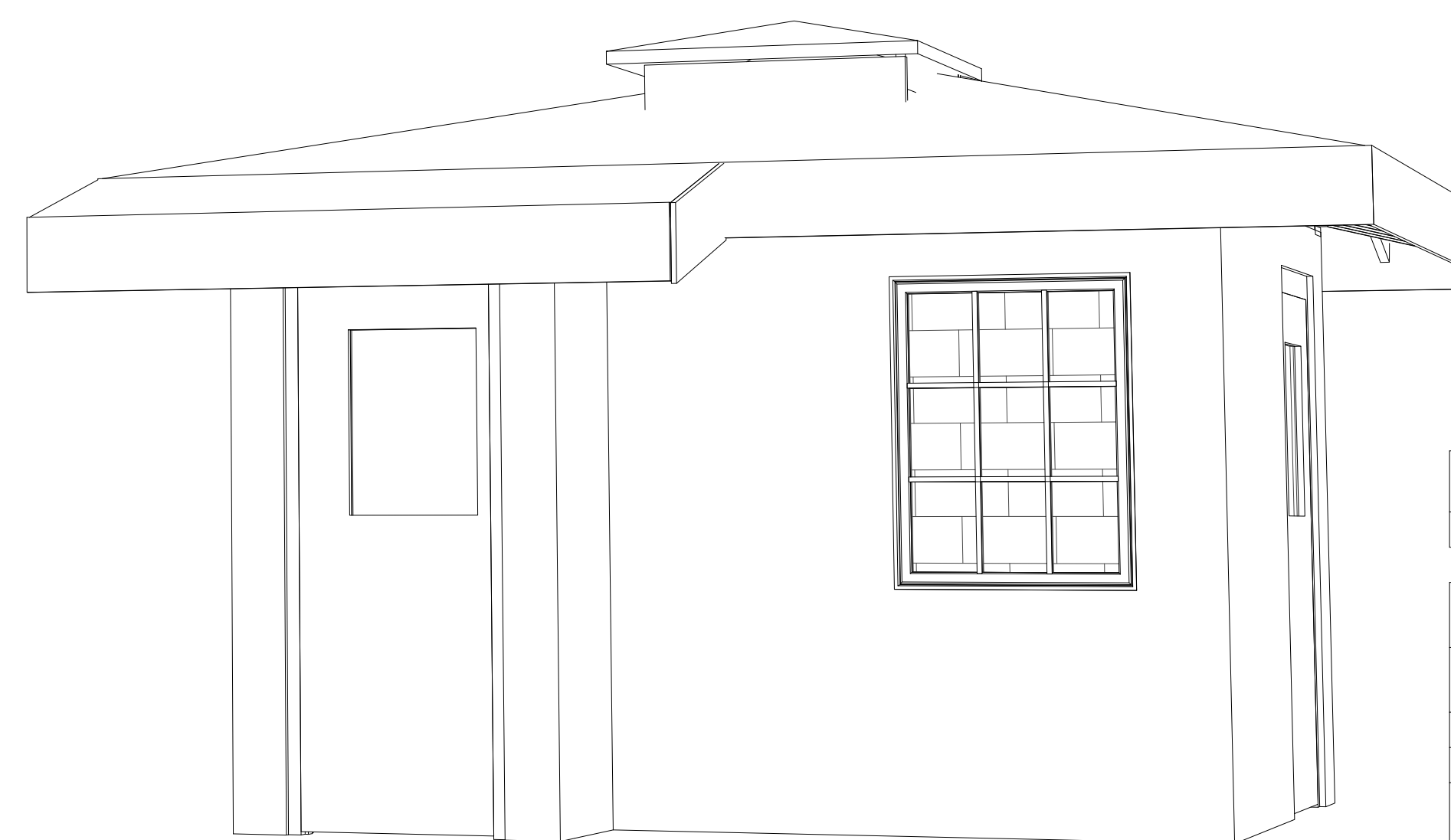
4 SOUTH EXISTING AND PROPOSED
1/8" = 1'-0"



7 WEST ELEVATION PROPOSED
1/8" = 1'-0"



PROPOSED



EXISTING

Keynote Legend	
Key Value	Keynote Text
1	REMOVE EXISTING DOOR, CLOSE OPENING AND MATCH EXISTING FINISHES
2	REMOVE CMU WALL, TIE BEAM AND PATCH FLOOR TO MATCH EXISTING
4	NEW 4" CONCRETE SLAB.. SEE STRUCTURAL
5	REPLACE DOORS. SEE DOOR SCHEDULE
9	NEW DOOR. 3-0 / 7-0 HOLLOW METAL FRAME WITH GLASS LIGHT
10	REMOVE WINDOW AND FILL IN WITH CMU TO MATCH EXISTING
13	EXISTING STOOP
14	5/8" STUCCO EXTERIOR SAND FLOAT FINISH
16	PROVIDE SHOP DRAWINGS DEPICTING FLASHING DETAIL FOR FANS TO OBTAIN WEATHER TIGHTNESS
17	DOOR LOUVER SHALL BE SIZE FOR 600 CFM INTAKE SEE MECHANICAL
18	DOOR LOUVER SHALL BE SIZE FOR 1200 CFM INTAKE SEE MECHANICAL
20	REMOVE EXISTING DOOR, WALLS AND SLAB.

PROJECT NO. 21025

DRAWN BY: Author CHECKED BY: Checker

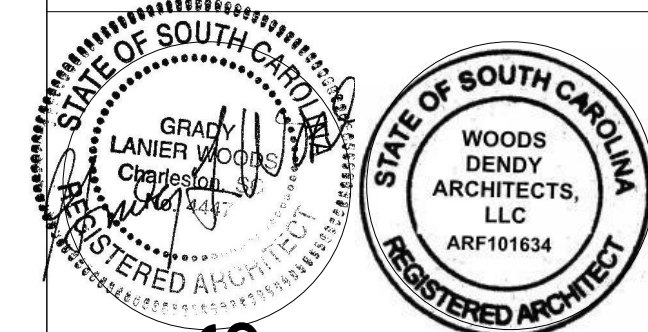
REVISION SCHEDULE	
REV. NO.	REV. DATE
1	12 MAY 23 GENERAL REVISIONS
2	BUILDING EXP 8 JUNE 23

Project Status
DATE: 19 MAY 22

ELEVATIONS AND PERSPECTIVES

A10.5

THESE DRAWINGS ARE THE PROPERTY OF WOODS DENDY ARCHITECTS, LLC, AND ARE NOT TO BE USED FOR MAKING ANY REPRODUCTION OR FOR THE CONSTRUCTION OF ANY BUILDING WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FROM THE COPY-RIGHT OWNER, WOODS DENDY ARCHITECTS, LLC.



NEW CONSTRUCTION FOR:
WATER & SEWER RESILIENCY IMPROVEMENTS

SECOND AVE AND WEATHERSBEE ST
RIDGELAND, SC

PROJECT NO. 21025

DRAWN BY: Author CHECKED BY: Checker

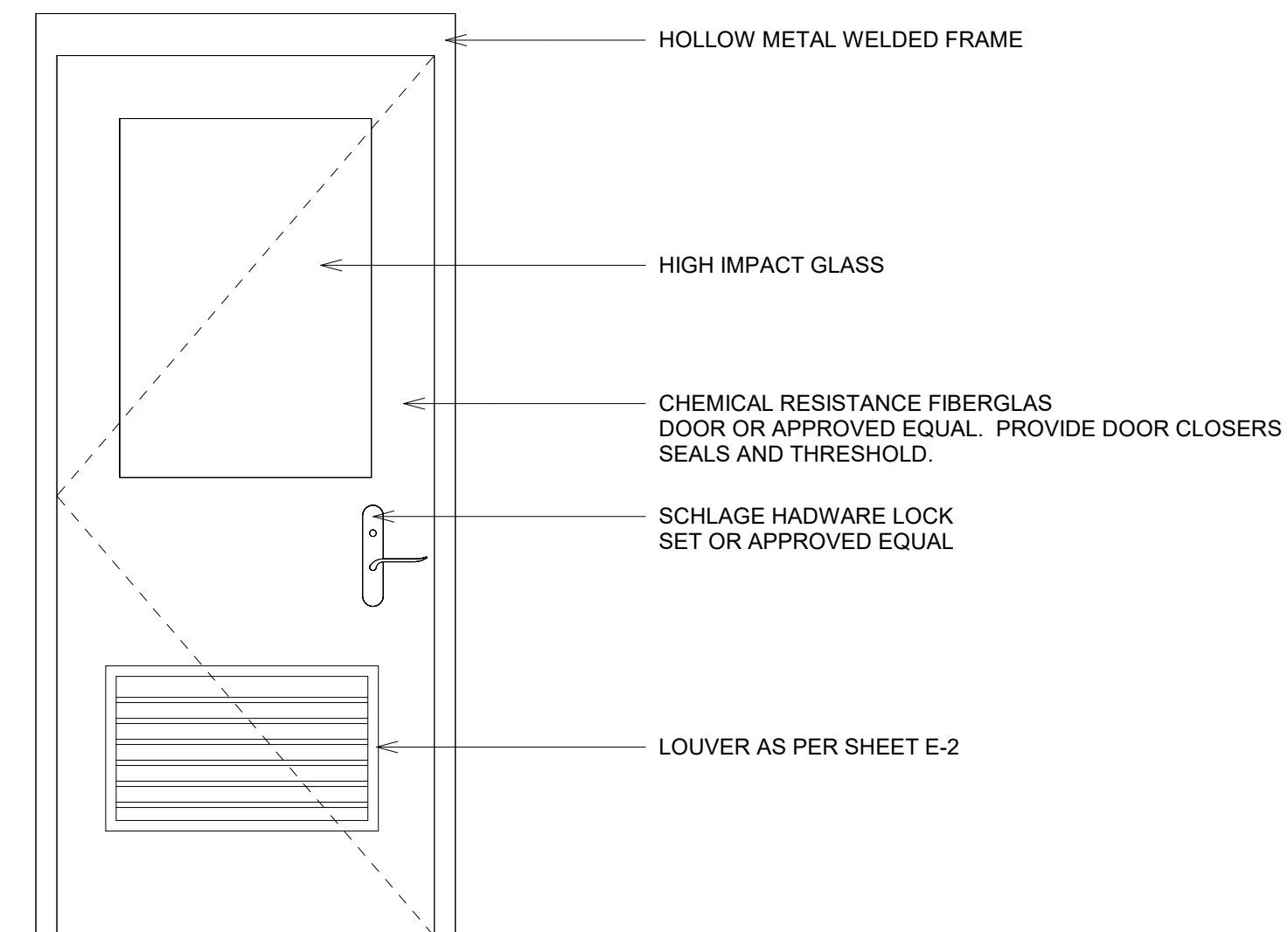
REV. NO.	REV. DATE
1	12 MAY 23 GENERAL REVISIONS
2	BUILDING EXP 8 JUNE 23

Project Status
DATE: 19 MAY 22

BUILDING SECTION

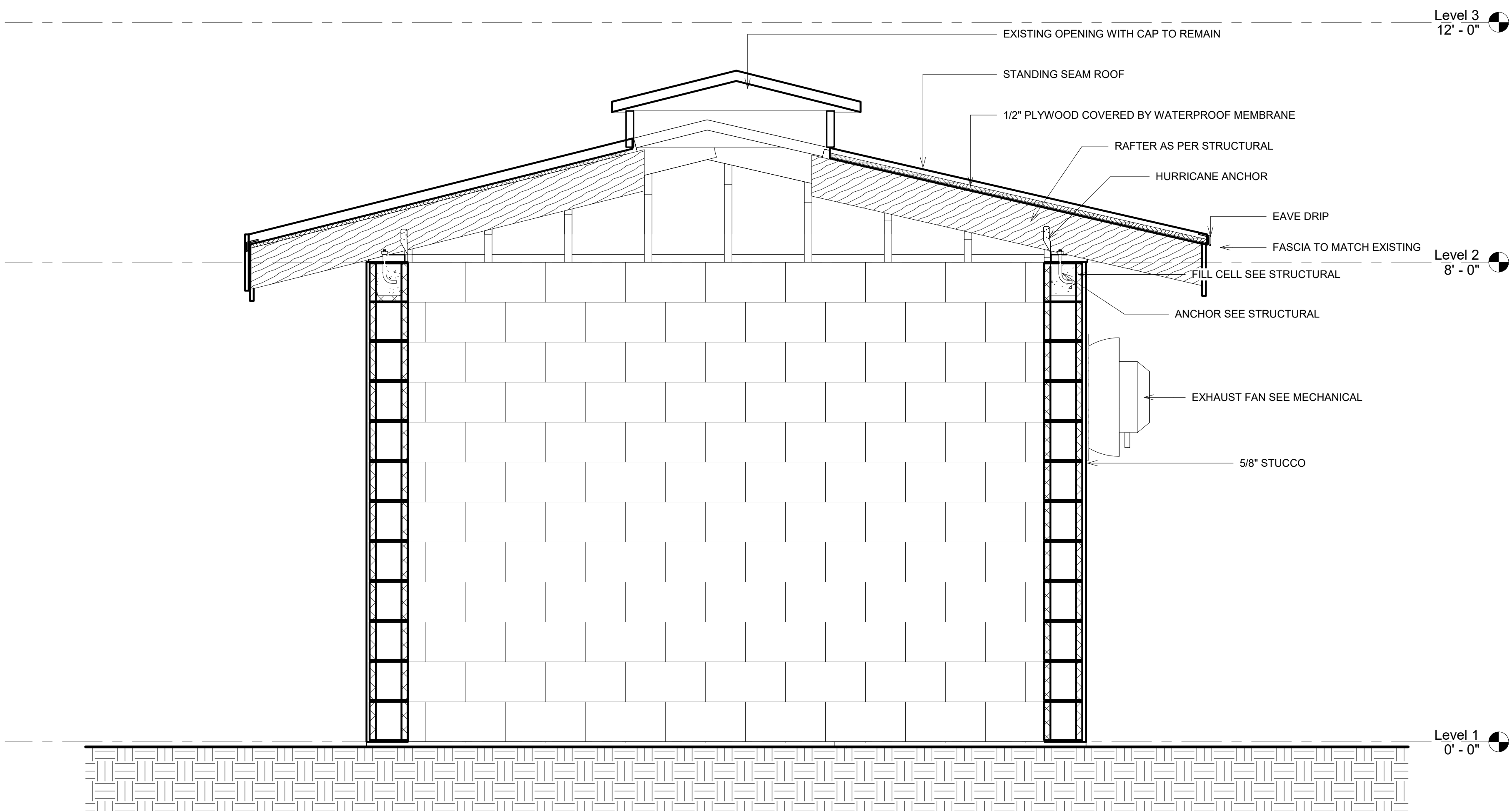
A10.6

THESE DRAWINGS ARE THE PROPERTY OF WOODS DENDY ARCHITECTS, LLC. AND ARE NOT TO BE USED FOR MAKING ANY REPRODUCTION OR FOR THE CONSTRUCTION OF ANY BUILDING WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FROM THE COPY-RIGHT OWNER, WOODS DENDY ARCHITECTS, LLC.



DOOR
3/4" = 1'-0"

Door Schedule			
Mark	Width	Height	Comments
1	3' - 0"	7' - 0"	
2	3' - 0"	7' - 0"	



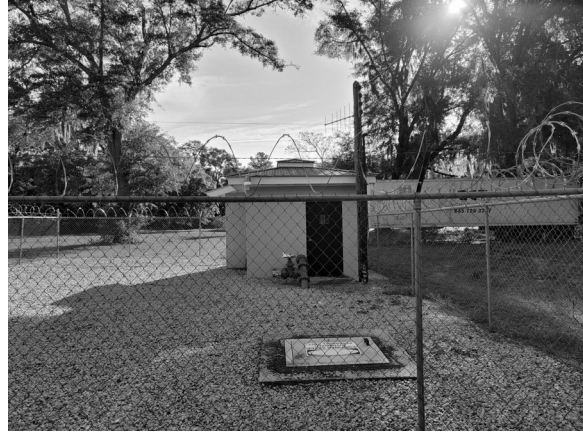
Section 1
3/4" = 1'-0"

PLOT INFO: 6/8/2023 7:56:01 AM C:\Users\Thomas\OneDrive\Projects\2021\21025 Water Pump Well #2\DWG\WDA-Dropout\Projects\2021\21025 Water Pump Well #2.rvt

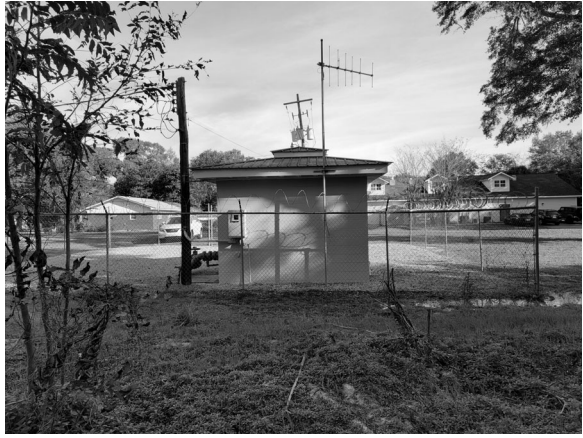
EXISTING ROOF ACCESS



EXISTING LOOKING EAST



EXISTING LOOKING EAST



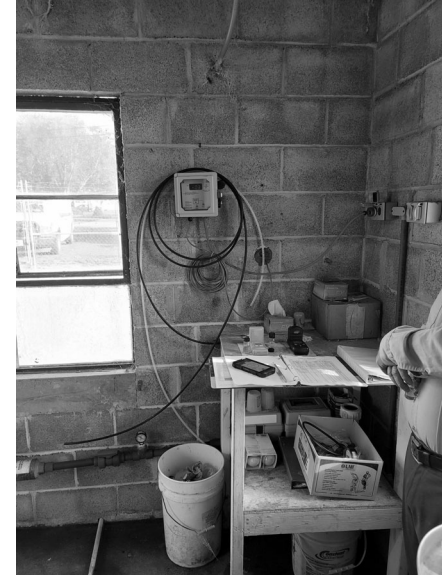
EXISTING LOOKING NORTH



EXISTING LOOKING SOUTH



EXISTING LOOKING WEST



EXISTING INTERIOR LOOKING NORTH



INTERIOR LOOKING SOUTH



INTERIOR LOOKING EAST



SCALES LOOKING SOUTH



SCALES LOOKING SOUTH



ROOF FRAMING TYPICAL



EXISTING ROOF ACCESS FRAMING

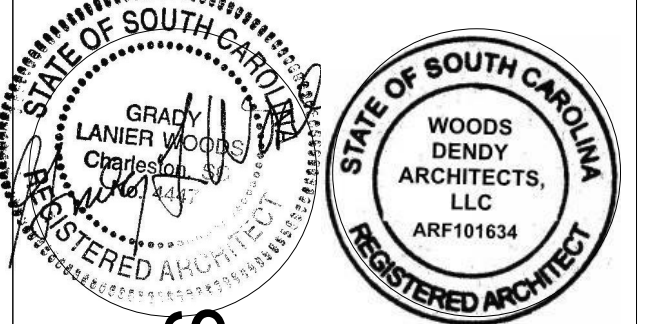


WDA

Woods Dendy Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS

893 GRAYS HIGHWAY
RIDGELAND, SC 299336
PHONE: 843-726-6730



NEW CONSTRUCTION FOR:
WATER & SEWER RESILIENCY IMPROVEMENTS

SECOND AVE AND WEATHERSBEE ST
RIDGELAND, SC

PROJECT NO.
21025

DRAWN BY: Author CHECKED BY: Checker

REV. NO.	REV. DATE
1	12 MAY 23 GENERAL REVISIONS

Project Status
DATE: 19 MAY 22

EXISTING BUILDING PHOTOS

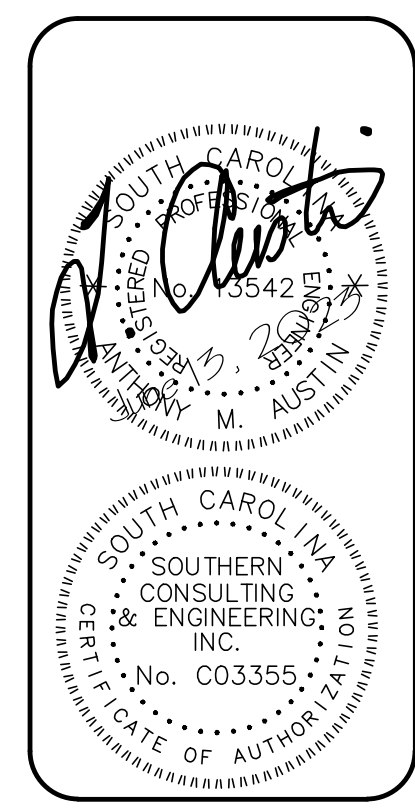
A10.7

THESE DRAWINGS ARE THE PROPERTY OF WOODS DENDY ARCHITECTS, LLC, AND ARE NOT TO BE USED FOR MAKING ANY REPRODUCTION OR FOR THE CONSTRUCTION OF ANY BUILDING WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FROM THE COPY-RIGHT OWNER, WOODS DENDY ARCHITECTS, LLC.

THE USE OF THESE DRAWINGS IS NOT WITHOUT LIMITATION. THESE DRAWINGS ARE PROVIDED IN ACCORDANCE WITH OUR STANDARD "TERMS OF USE". A COPY OF THESE "TERMS OF USE" IS AVAILABLE ON OUR WEBSITE AT WWW.SCE-ENGINEERING.COM. USE OF THESE DRAWINGS SHALL CONSTITUTE ACCEPTANCE OF THESE TERMS BY THE CLIENT, PROJECT ARCHITECT, PROJECT OWNER, CONTRACTOR OR ANY OTHER PARTY WHO MAY HAVE AN INTEREST IN OR THE NEED TO USE THESE DRAWINGS.

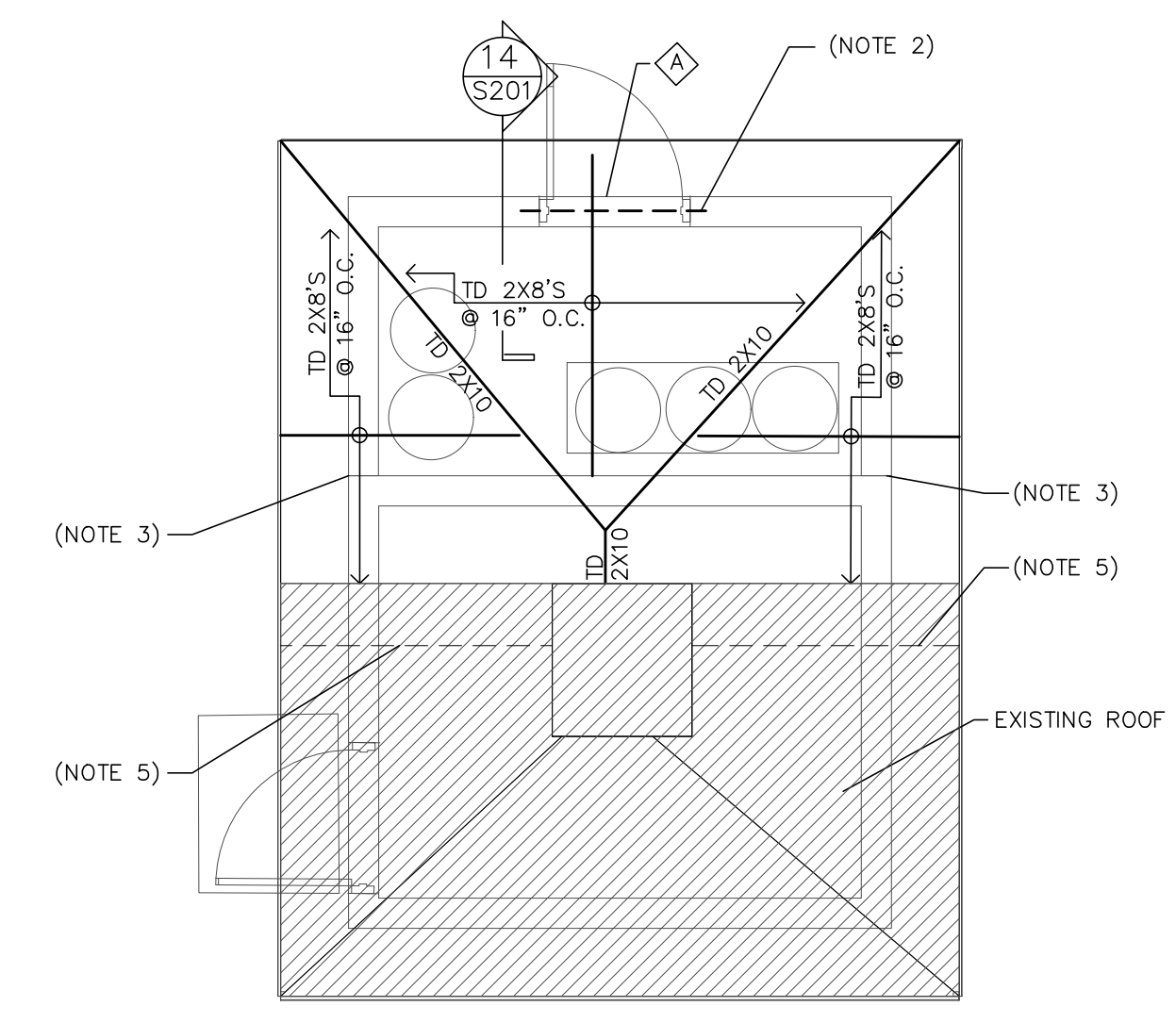
Southern Consulting & Engineering, Inc.
Structural Engineering
2135 N.A.D. Road
North Charleston, SC

Bus(843) 718-2525
Fax (843) 718-2776
www.SCEstructure.com

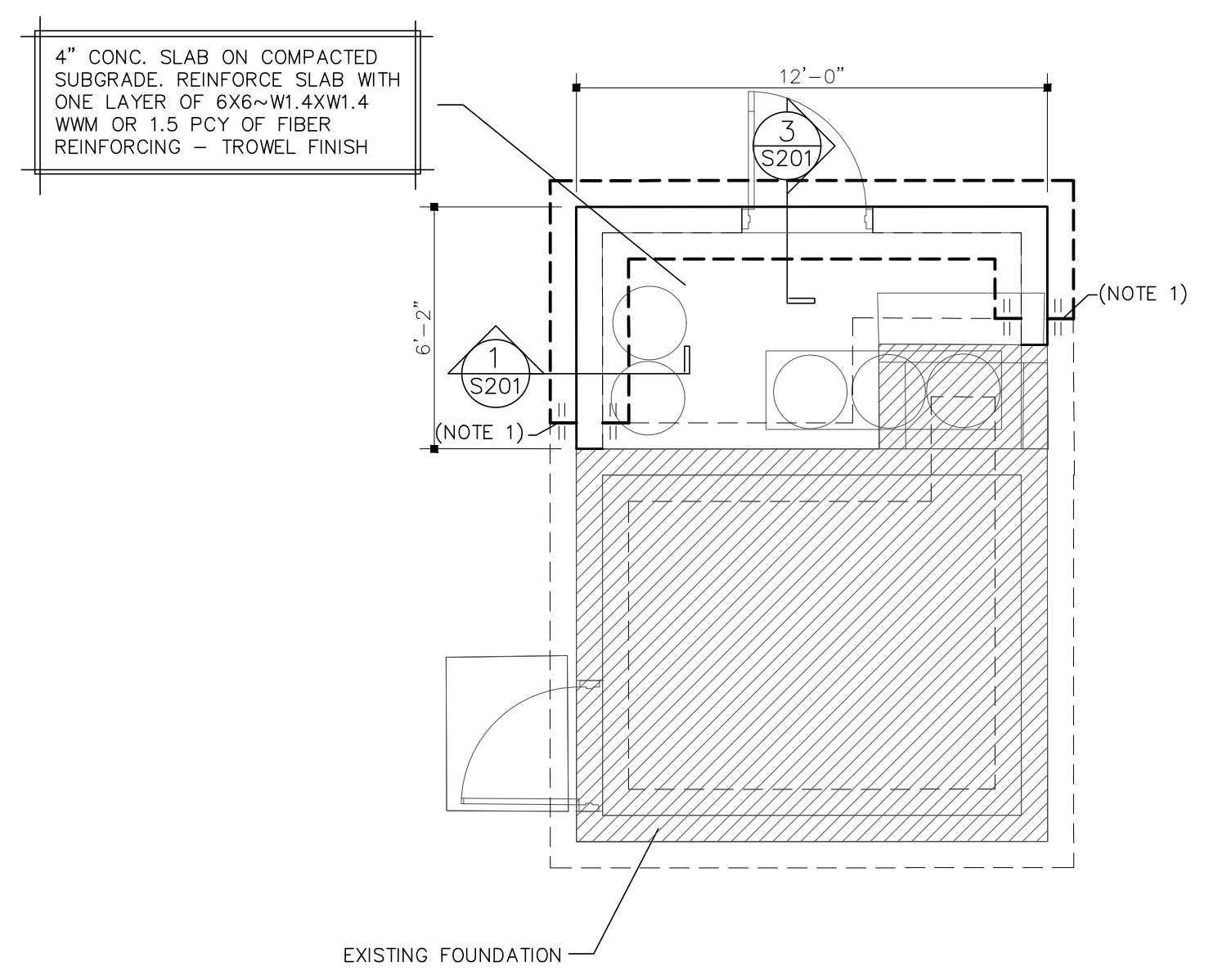


Ridgeland Pump Station
Second Ave. and Weathersbee Street
Ridgeland, SC

CMU LINTEL SCHEDULE
 8"x8" CMU LINTEL WITH (2)#5'S IN BOTTOM.
 GROUT SOLID WITH 3000 PSI PEA GRAVEL CONCRETE



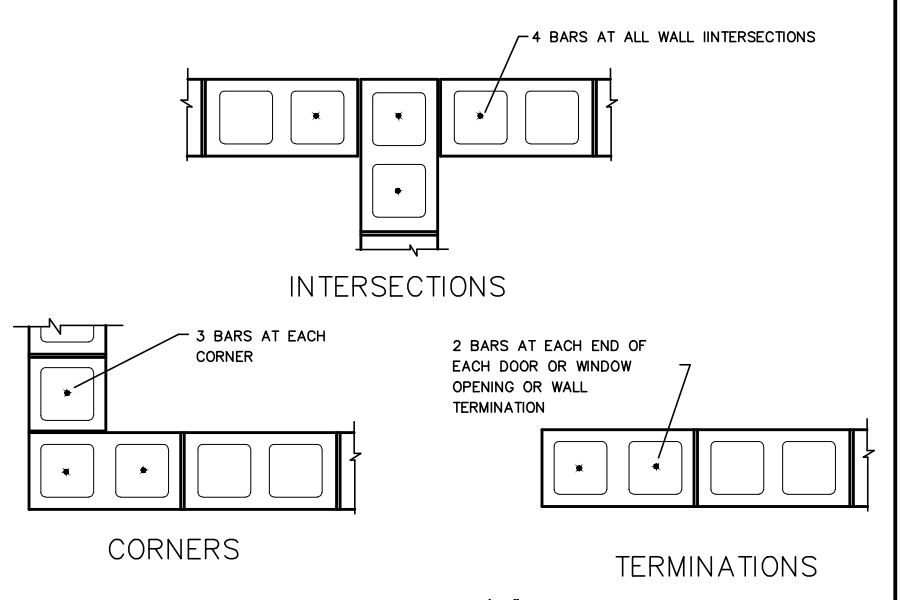
ROOF FRAMING
 SCALE: 1/4" = 1'-0"



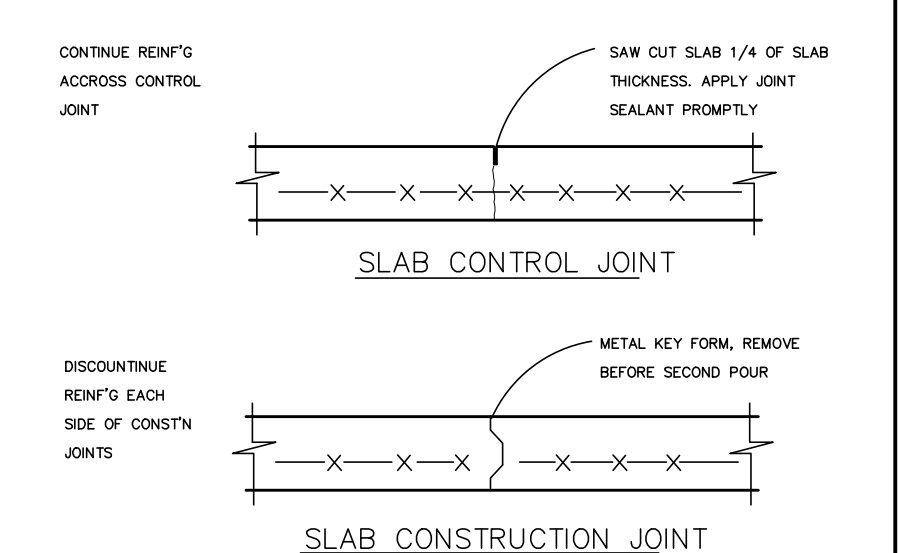
FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

SEE ARCH'L DRAWINGS FOR DIMENSIONS AND CONDITIONS NOT SHOWN HEREIN.
 TOP OF FOOTINGS SHALL BE NOT LESS THAN 8" BELOW FINISHED GRADE
 FOOTINGS AND SLABS SHALL NOT BE PLACED ON UNCONTROLLED FILL. PLACEMENT AND USE OF COMPACTED FILL, IN EXCESS OF 12" SHALL REQUIRE THE INVOLVEMENT AND BE PLACED UNDER THE SUPERVISION OF A QUALIFIED GEOTECHNICAL ENGINEER.
 MASONRY HEIGHT ABOVE GRADE SHALL NOT EXCEED 8'-0" WITHOUT PRIOR WRITTEN APPROVAL FROM ENGINEER.
 NO SOILS REPORT OR SOILS INVESTIGATION HAS BEEN PERFORMED ON THIS SITE. THIS FOUNDATION DESIGN IS BASED ON ASSUMED SOIL CONDITIONS AND AN ASSUMED SOIL CAPACITY OF 2000 PSF. IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO RETAIN THE SERVICES OF A QUALIFIED GEOTECHNICAL ENGINEER TO VERIFY THE SOIL CONDITIONS ARE ADEQUATE AND THE SITE HAS BEEN PROPERLY PREPARED PRIOR TO THE START OF WORK.
 THE GC SHALL REVIEW AND APPROVE ALL DIMENSIONS SHOWN HEREIN PRIOR TO THE START OF WORK. NOTIFY ENGINEER OF ANY DIMENSION OR CONDITION FOUND CONTRARY TO THAT SHOWN WITHIN THE ARCH'L DRAWINGS.

- DRAWING NOTES (NOTE X)
- (1) - DRILL AND EPOXY (2)#4'S X 2'-6" NOT LESS THAN 6" INTO FOOTING WHERE NEW ABUTS EXISTING
 - (2) - EXTEND CMU LINTEL NOT LESS THAN 8" ONTO ADJACENT CMU. TOOTH INTO EXISTING AS REQUIRED.
 - (3) - PROVIDE A VERTICAL CMU CONTROL JOINT BETWEEN NEW AND EXISTING CMU.
 - (4) - NOT USED
 - (5) - EXTEND NEW ROOF SHEATHING 16" BEYOND EDGE OF NEW CONSTRUCTION. NEW SHEATHING TO FLUSH WITH TOP OF EXISTING. ADD BLOCKING AS REQUIRED TO SUPPORT EDGE OF NEW AND EXISTING SHEATHING

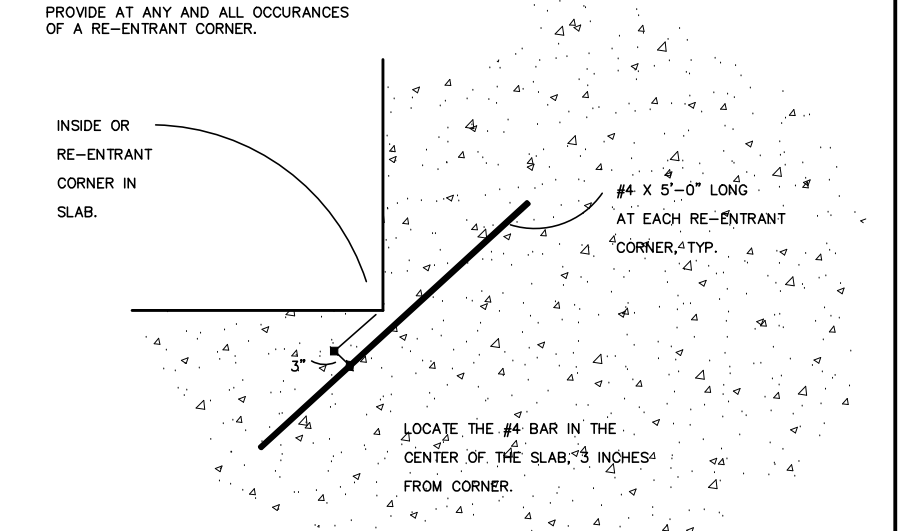


TYP. CMU DETAILS



SPACE CONTROL JOINTS NOT MORE THAN 15'-0" O.C. AND PLACE SO AS NO SLAB SEGMENT HAS A LONG SIDE MORE THAN 1.5 TIMES THE SHORT SIDE.
 SLAB JOINTS ARE TO BE PLACED AS SOON AS THE SLAB CAN BE CUT WITHOUT DISLODGING THE COURSE AGGREGATE, SAME DAY AS SLAB PLACEMENT.
 SEAL OPEN JOINTS PROMPTLY TO PREVENT INTRUSION OF DEBRIS.
 SLAB CONTROL JOINTS CAN CREATE CRACKS AND OTHER ISSUES WITH BRITTLE FLOOR FINISHES. WHERE ALTERNATE JOINT LOCATIONS MAY BE REQUIRED NOTIFY ENGINEER FOR ASSISTANCE OR SUBMIT ALTERNATE LAYOUT FOR APPROVAL.

TYP. SLAB JOINT'G DETAILS

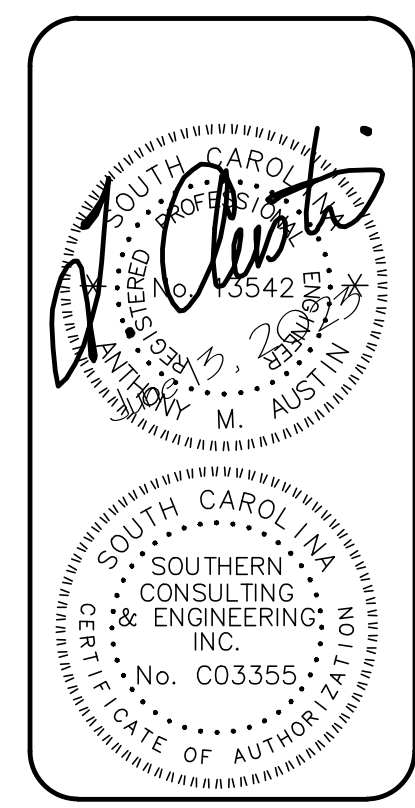
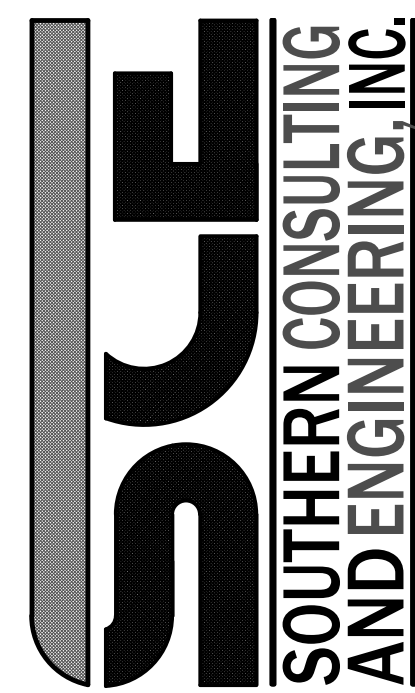


TYP. RE-ENTRANT CORNER DETAIL

REV. BY	DATE

THE USE OF THESE DRAWINGS IS NOT WITHOUT LIMITATION. THESE DRAWINGS ARE PROVIDED IN ACCORDANCE WITH OUR STANDARD "TERMS OF USE." A COPY OF THESE "TERMS OF USE" IS AVAILABLE ON OUR WEBSITE AT WWW.SCE-ENGINEERING.COM. USE OF THESE DRAWINGS SHALL CONSTITUTE ACCEPTANCE OF THESE TERMS BY THE CLIENT, PROJECT ARCHITECT, PROJECT OWNER, CONTRACTOR OR ANY OTHER PARTY WHO MAY HAVE AN INTEREST IN OR THE NEED TO USE THESE DRAWINGS.

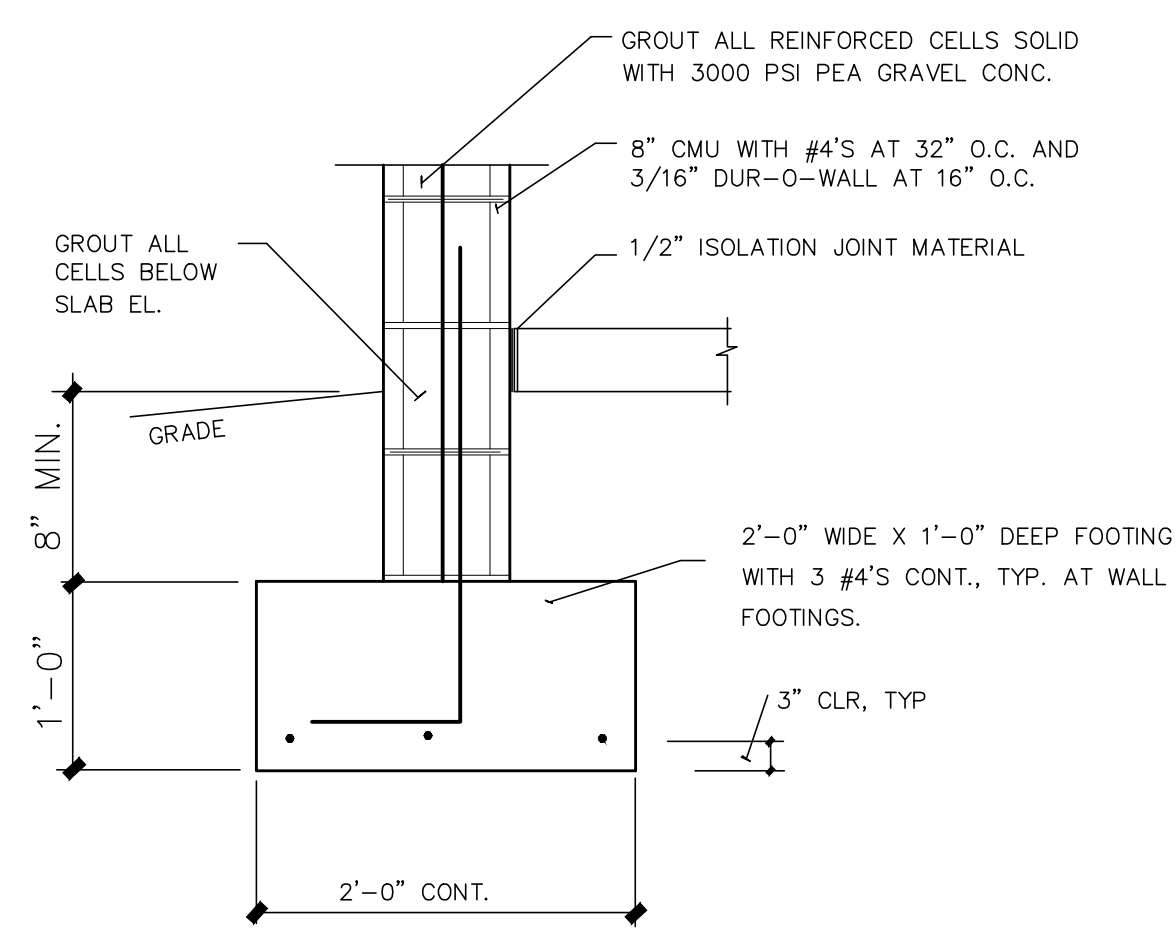
Southern Consulting & Engineering, Inc.
Structural Engineering
2135 N.A.D. Road
North Charleston, SC
Bus(843) 718-2525
Fax (843) 718-2776
www.SCEstructure.com



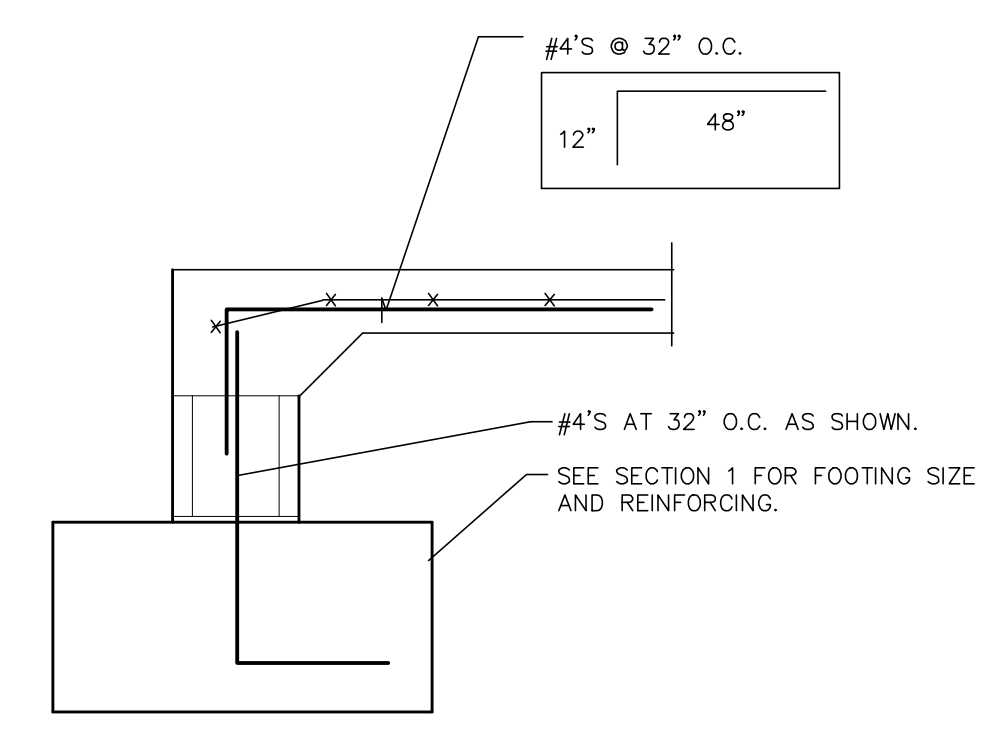
Ridgeland Pump Station
Second Ave. and Weathersbee Street
Ridgeland, SC

DATE	June 13, 2023
SCALE	SEE PLAN
JOB NO.	211396-0
SHEET	S201

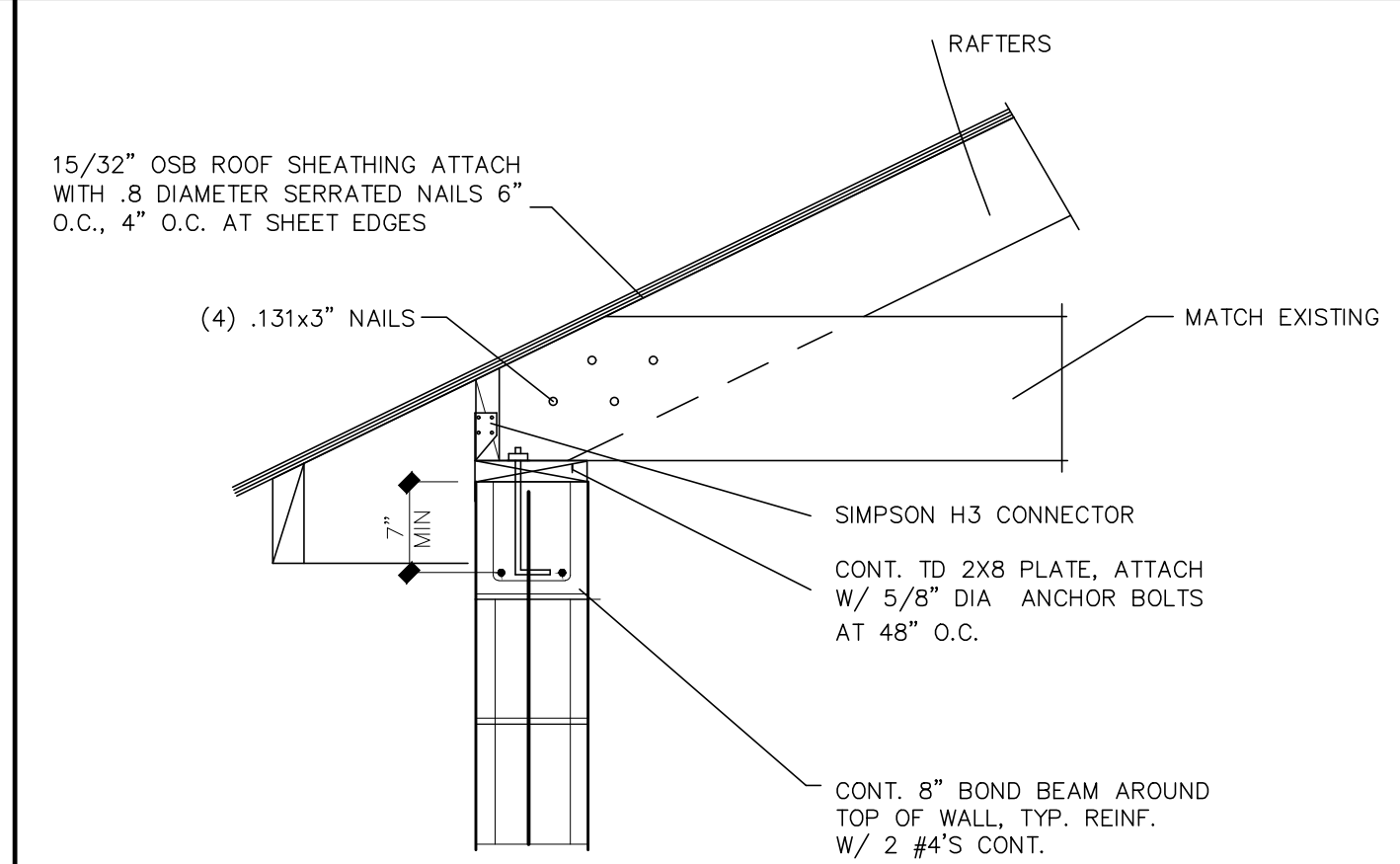
S201



WALL FOOTING DETAIL



SECTION AT DOOR OPENING



EAVE DETAIL